

**1** FIRST FLOOR PLAN  
3/16" = 1'-0"



**RSP Architects**  
1220 Marshall Street NE  
Minneapolis  
Minnesota 55413-1036  
612.677.7100  
612.677.7499 fax  
www.rsparch.com

Consultants

Certification

**NOT FOR  
CONSTRUCTION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Name

License Number

Date Signed

Project For

**HIGHWAY 7  
FINANCIAL  
PLAZA**

Project No. 305.800.100

Drawn By ZDK

Checked By JKM

Date 04/20/20

NOTICE: The designs shown and described herein, including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

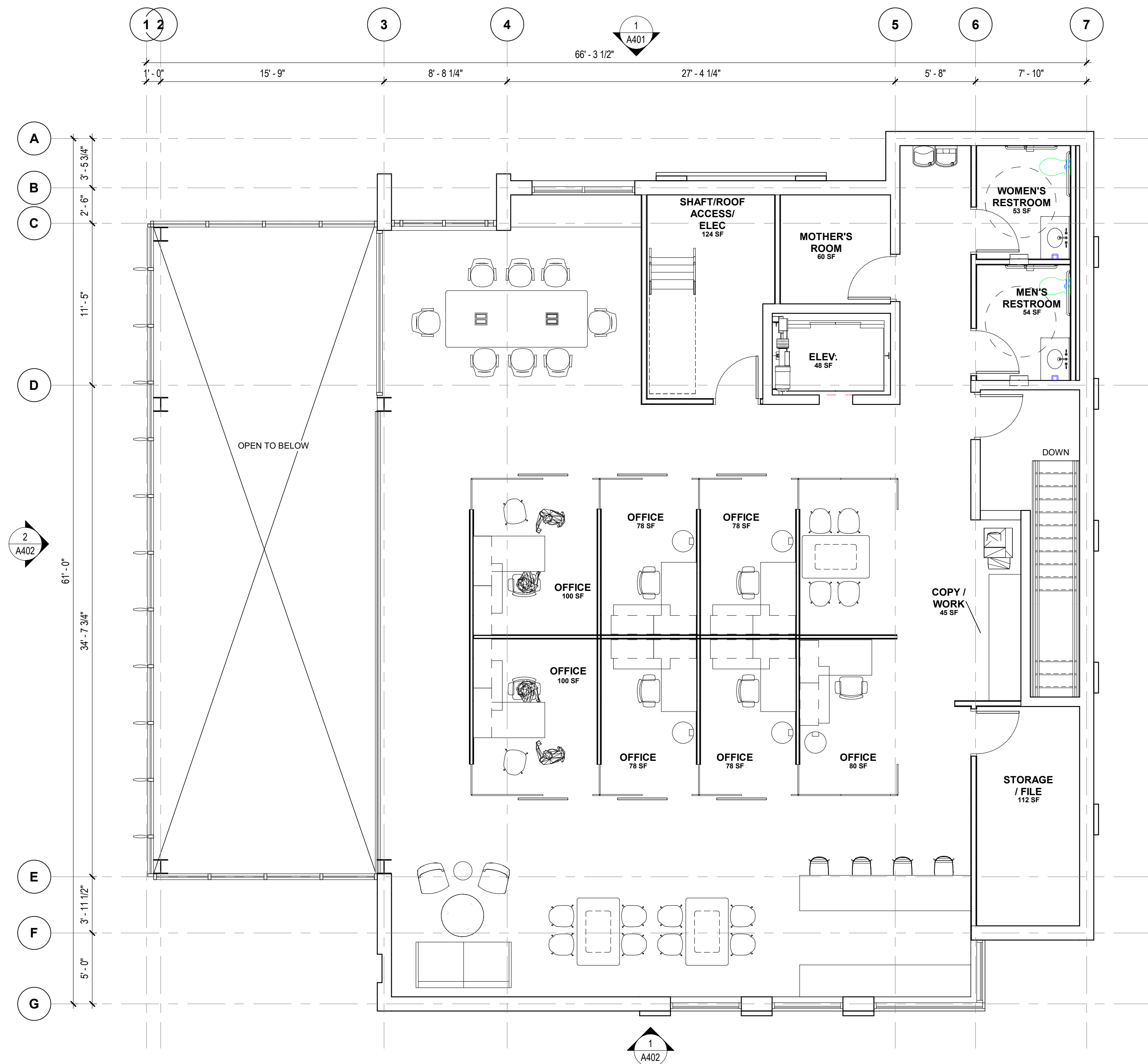
© Copyright RSP Architects 2020. All rights reserved.

Sheet Issues / Revisions

No.	Date	Description

FLOOR PLANS

**A101**



**1** SECOND FLOOR PLAN  
3/16" = 1'-0"



**RSP Architects**  
1220 Marshall Street NE  
Minneapolis  
Minnesota 55413-1036

612.677.7100  
612.677.7499 fax  
www.rsparch.com

Consultants

Certification

**NOT FOR CONSTRUCTION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Name \_\_\_\_\_  
License Number \_\_\_\_\_  
Date Signed \_\_\_\_\_

Project For

**HIGHWAY 7  
FINANCIAL  
PLAZA**

Project No. **305.800.100**  
Drawn By **ZDK**  
Checked By **JKM**  
Date **04/20/20**

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

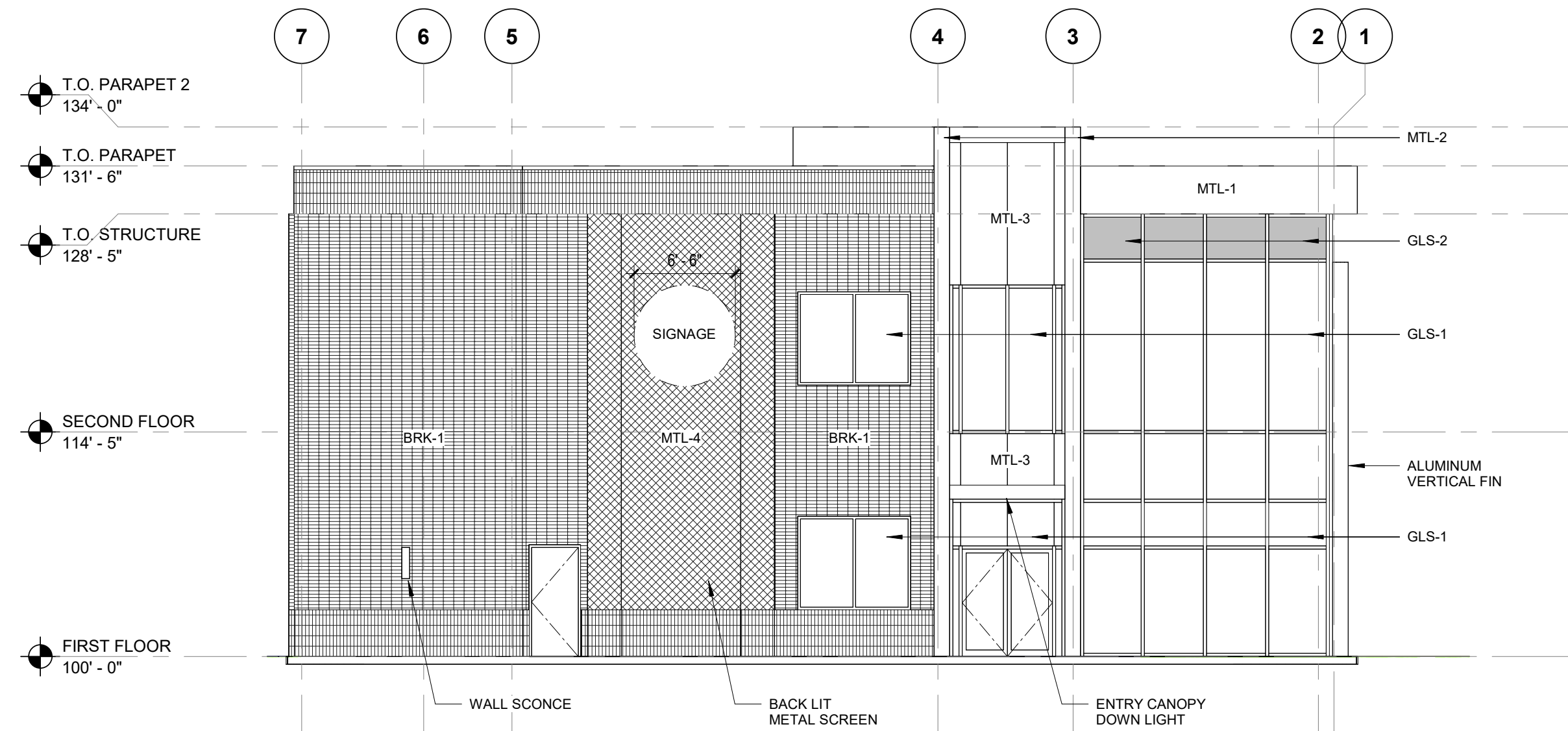
© Copyright RSP Architects 2020. All rights reserved.

Sheet Issues / Revisions

No.	Date	Description

FLOOR PLANS

**A101.2**



1 NORTH ELEVATION  
1/8" = 1'-0"

**MATERIALS**

North Ele.

Class I  
56% Brick  
35% Glass

Class II  
9% Metal Panel

East Ele.

Class I  
95% Brick  
4% Glass

Class II  
1% Metal Panel

South Ele.

Class I  
37% Glass  
33% Brick

Class II  
30% Metal Panel

West Ele.

Class I  
60% Glass  
12% Brick

Class II  
28% Metal Panel

**MATERIAL KEY**

BRK-1: BRICK, BLACK

GLS-1: GLASS, TRANSPARENT

GLS-2: GLASS, SPANDREL

GLS-3: GLASS, OPAQUE SAFTEY

MTL-1: METAL PANEL, LIGHT GREY

MTL-2: METAL PANEL, DARK BLUE

MTL-3: METAL PANEL, LIGHT BLUE

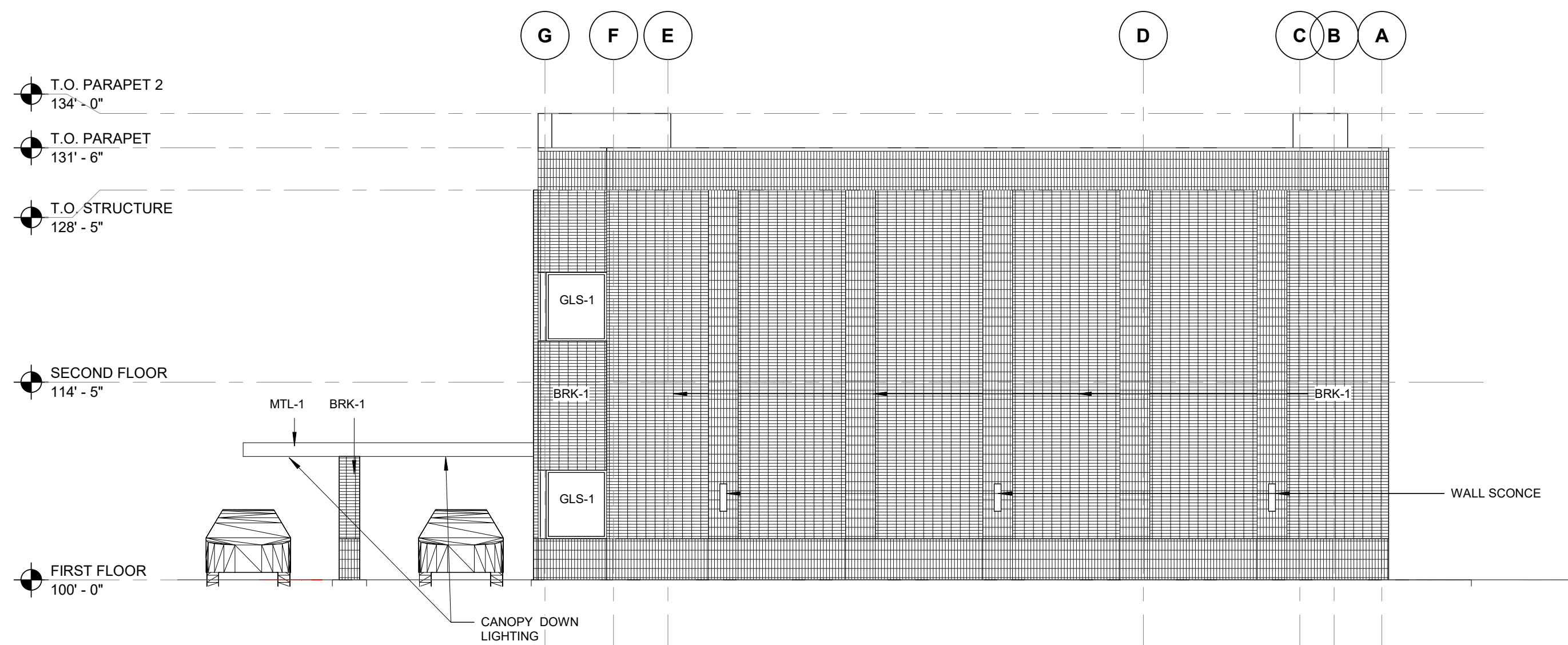
**SIGNAGE**

S. Ele.: 100 sqft  
N. Ele.: 50 sqft  
Monumental Sign: 40 sqft

Total = 190 sqft

50% Ground Floor Transparency Achieved on Front Yard South Elevation (GLS-1)

Less Than 10% Opaque Glazing Overall (GLS-2, GLS-3)



2 EAST ELEVATION  
1/8" = 1'-0"



**RSP Architects**  
1220 Marshall Street NE  
Minneapolis  
Minnesota 55413-1036  
612.677.7100  
612.677.7499 fax  
www.rsparch.com

**Consultants**

**Certification**

**NOT FOR CONSTRUCTION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Name \_\_\_\_\_

License Number \_\_\_\_\_

Date Signed \_\_\_\_\_

Project For \_\_\_\_\_

**HIGHWAY 7  
FINANCIAL  
PLAZA**

Project No. 305.800.100

Drawn By ZDK

Checked By JKM

Date 04/20/20

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2020. All rights reserved.

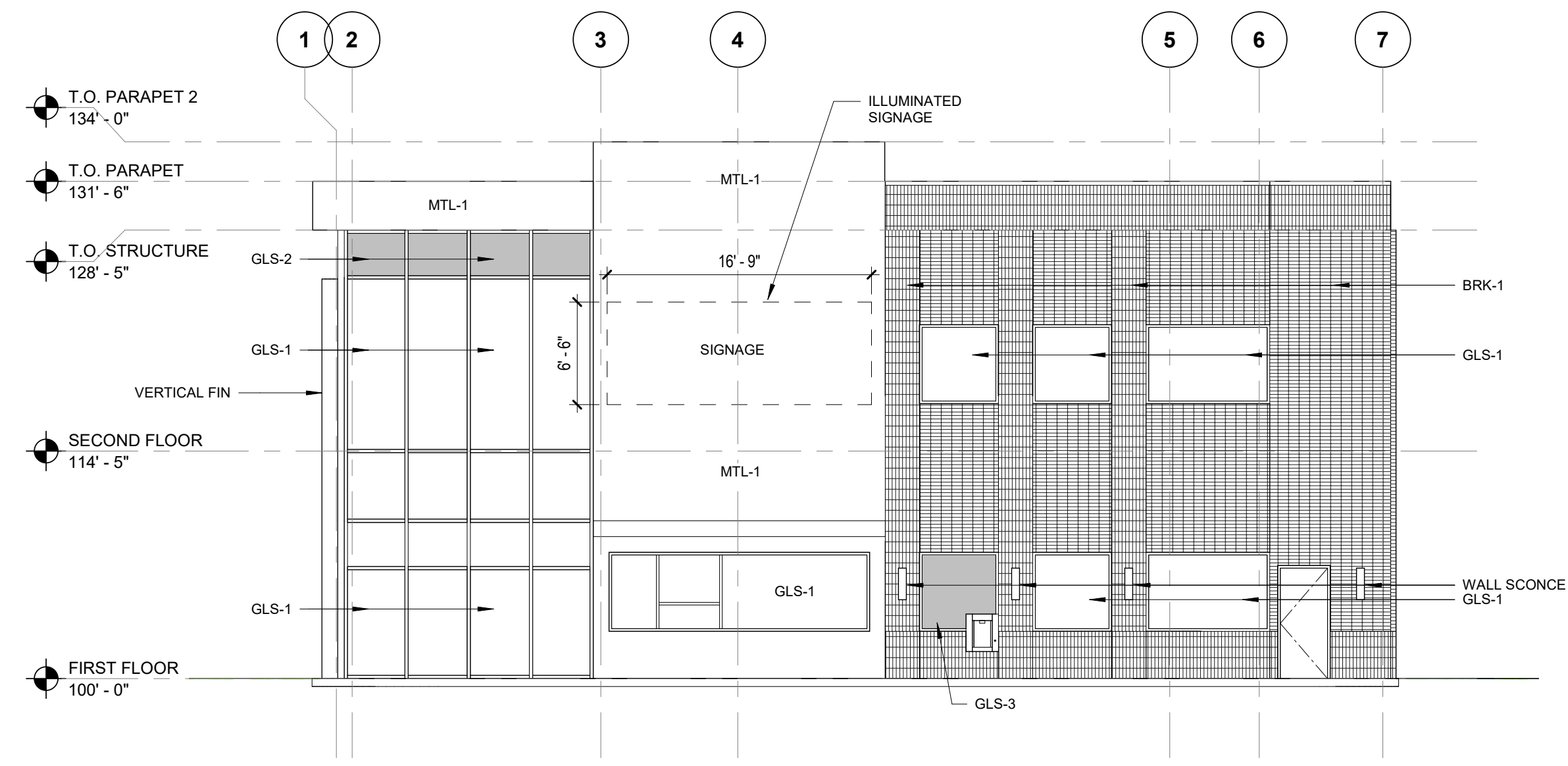
**Sheet Issues / Revisions**

No.	Date	Description

**EXTERIOR ELEVATIONS**

**A401**





**1** SOUTH ELEVATION  
1/8" = 1'-0"

**MATERIALS**

North Ele.

Class I  
56% Brick  
35% Glass

Class II  
9% Metal Panel

East Ele.

Class I  
95% Brick  
4% Glass

Class II  
1% Metal Panel

South Ele.

Class I  
37% Glass  
33% Brick

Class II  
30% Metal Panel

West Ele.

Class I  
60% Glass  
12% Brick

Class II  
28% Metal Panel

**MATERIAL KEY**

- BRK-1: BRICK, BLACK
- GLS-1: GLASS, TRANSPARENT
- GLS-2: GLASS, SPANDREL
- GLS-3: GLASS, OPAQUE SAFETY
- MTL-1: METAL PANEL, LIGHT GREY
- MTL-2: METAL PANEL, DARK BLUE
- MTL-3: METAL PANEL, LIGHT BLUE

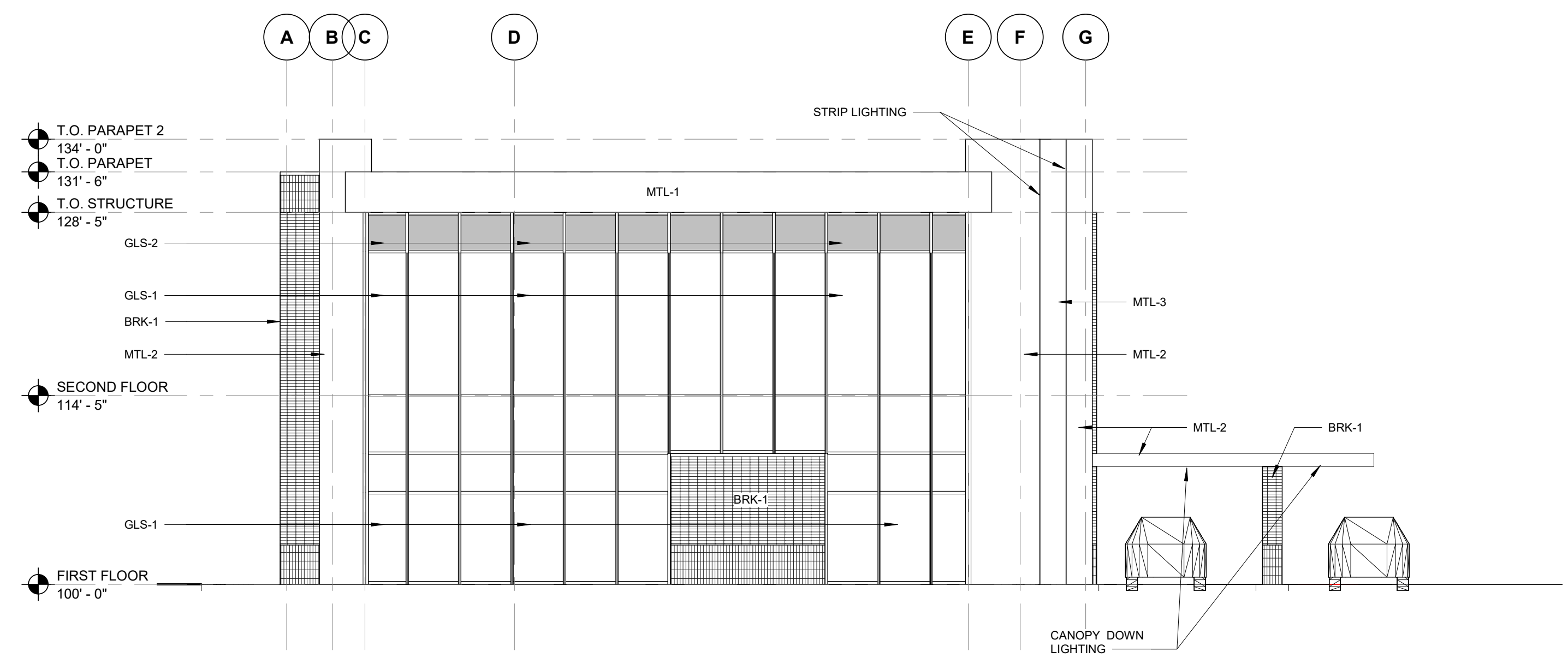
**SIGNAGE**

S. Ele.: 100 sqft  
N. Ele.: 50 sqft  
Monumental Sign: 40 sqft

Total = 190 sqft

50% Ground Floor Transparency Achieved on Front Yard South Elevation (GLS-1)

Less Than 10% Opaque Glazing Overall (GLS-2, GLS-3)



**2** WEST ELEVATION  
1/8" = 1'-0"



**RSP Architects**  
1220 Marshall Street NE  
Minneapolis  
Minnesota 55413-1036  
612.677.7100  
612.677.7499 fax  
www.rsparch.com

**Consultants**

**Certification**

**NOT FOR CONSTRUCTION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Name \_\_\_\_\_  
License Number \_\_\_\_\_  
Date Signed \_\_\_\_\_

**Project For**

**HIGHWAY 7  
FINANCIAL  
PLAZA**

Project No. **305.800.100**  
Drawn By **ZDK**  
Checked By **JKM**  
Date **04/20/20**

NOTICE: The designs shown and described herein, including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

© Copyright RSP Architects 2020. All rights reserved.

**Sheet Issues / Revisions**

No.	Date	Description

**EXTERIOR ELEVATIONS**

**A402**



Front Perspective from Highway 7 and Texas Ave



ST. LOUIS PARK, MN  
04.20.20

ST. LOUIS PARK SITE PLAN AND EXTERIOR CONCEPT

ESTD  1983  
 FRAUENSHUH





Entry Perspective from Texas Ave.



ST. LOUIS PARK, MN  
04.20.20

ST. LOUIS PARK SITE PLAN AND EXTERIOR CONCEPT

ESTD 1983  
  
F R A U E N S H U H

  
PG 2