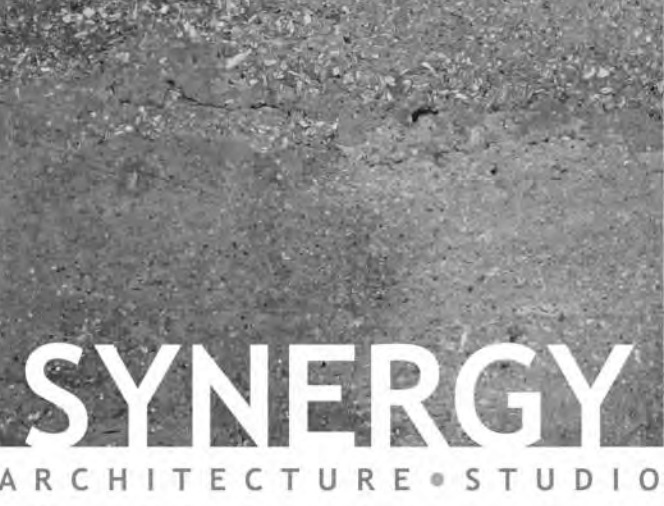


# XCHANGE MEDICAL



33 SOUTH 6TH STREET  
SUITE 4660  
MINNEAPOLIS, MN 55402

612 . 383 . 2701 | SYNERGYARCHSTUDIO.COM



DAVIS HEALTHCARE REAL ESTATE  
33 SOUTH 6TH STREET  
SUITE 4650  
MINNEAPOLIS, MN 55402

612 . 338 . 4000 | DAVISHRE.COM



394 AND WAYZATA BLVD

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

Patrick J Giordana

21.609

06.01.2020

Project No 0035

Drawn By EM / DB / MWO

Checked By PJG

No.	Description	Date
	CITY SUBMITTAL	06.01.2020
	CITY SUBMITTAL	06.24.2020
	CITY SUBMITTAL	07.21.2020
	CITY SUBMITTAL	07.24.2020

TITLE SHEET

# T001



INDEX OF SHEETS	
No	Title
00-TITLE	
T001	TITLE SHEET
01-CIVIL	
C1-1	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	STORMWATER POLLUTION PREVENTION PLAN
C3-3	STORMWATER POLLUTION PREVENTION PLAN
C4-1	SANITARY SEWER & WATER MAIN PLAN
C4-2	STORM SEWER PLAN
C8-1	CITY DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
05-PRELIMINARY DESIGN	
A200-P	FLOOR PLAN - LOWER LEVEL
A201-P	FLOOR PLAN - LEVEL 01
A202-P	FLOOR PLAN - LEVEL 02
A203-P	FLOOR PLAN - LEVEL 03
A210-P	ROOF PLAN
A300-P	ELEVATIONS
A301-P	ELEVATIONS
A900-P	BUILDING RENDERING
A901-P	BUILDING RENDERING
A902-P	BUILDING RENDERING
A903-P	BUILDING RENDERING
A904-P	BUILDING RENDERING
A905-P	BUILDING RENDERING
SL-1	SITE LIGHTING PLAN
SL-2	SITE LIGHTING PLAN - NIGHT

## PROJECT CONTACT LIST

### BUILDING OWNER

DAVIS HEALTHCARE REAL ESTATE SERVICES  
33 SOUTH 6TH STREET  
SUITE 4650  
MINNEAPOLIS, MN

MARK DAVIS  
MDAVIS@DAVISHRE.COM  
612 . 341 . 3242

### GENERAL CONTRACTOR

TIMCO CONSTRUCTION  
2820 VICKSBURG LANE  
PLYMOUTH, MN

TIM MCKEE  
TMCKEE@TIMCO-CONST.COM  
763 . 694 . 0250

### ARCHITECT

SYNERGY ARCHITECTURE STUDIO, LLC  
33 SOUTH 6TH STREET  
SUITE 4660  
MINNEAPOLIS, MN

PATRICK J GIORDANA  
PGIORDANA@SYNERGYARCHSTUDIO.COM  
612 . 383 . 2701

### CIVIL ENGINEER

LOUCKS, INC  
7200 HEMLOCK LANE  
SUITE 300  
MAPLE GROVE, MN

PJ DISCH  
PJDISCH@LOUCKSINC.COM  
763 . 496 . 6736

### STRUCTURAL ENGINEER

KOMA, INC  
6115 CAHILL AVE  
INVER GROVE HEIGHTS, MN

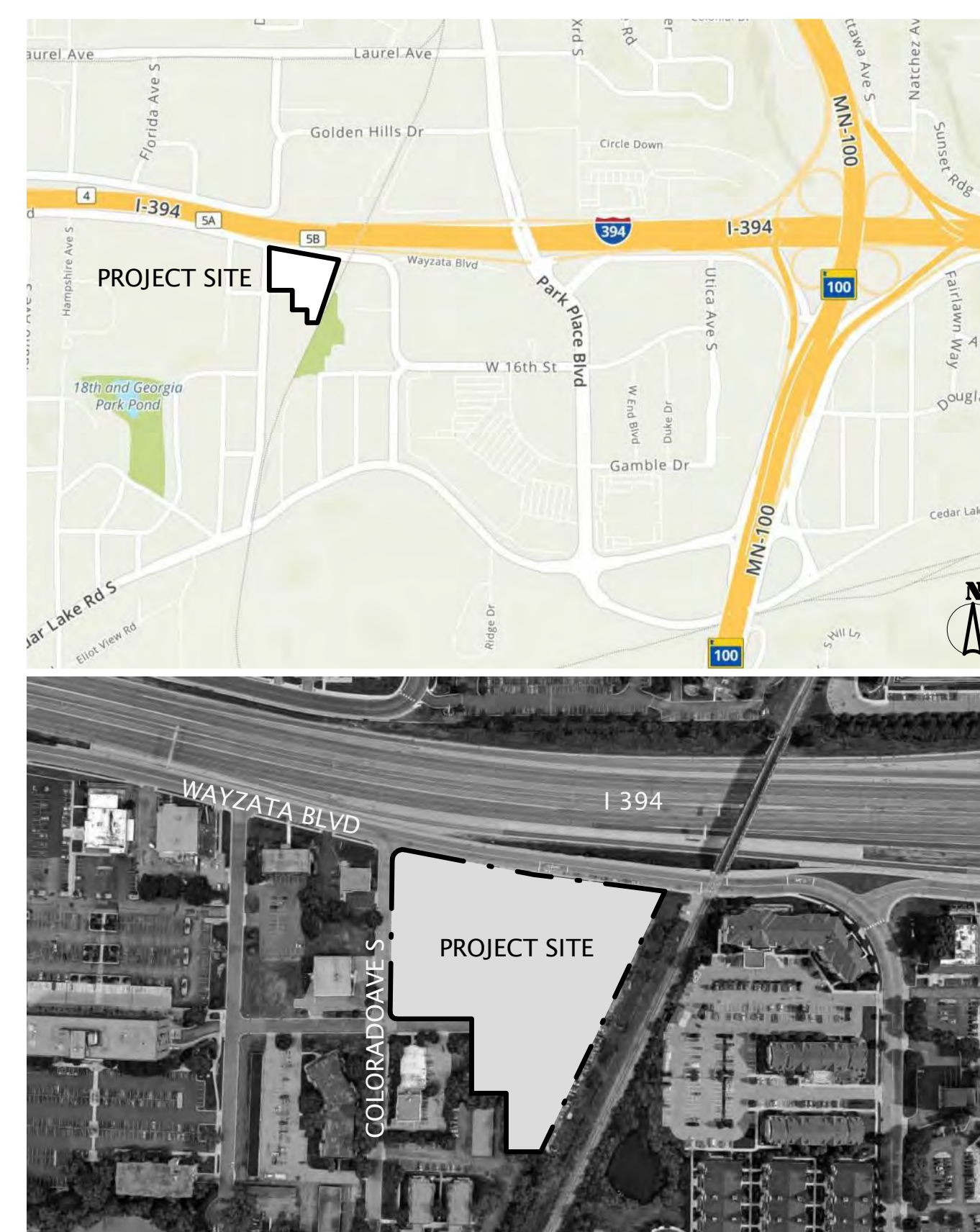
MATT VAN HOOF  
MVANHOOF@KOMAINC.COM  
651 . 789 . 4129

### LANDSCAPE ARCHITECT

LOUKS, INC  
7200 HEMLOCK LANE  
MAPLE GROVE, MN

DOUG LOKEN, LA  
DLOKEN@LOUCKSINC.COM  
763 . 496 . 6733

## PROJECT LOCATION MAP



EXISTING	PROPOSED

**PAVEMENT LEGEND**

	DENOTES LIGHT DUTY BITUMINOUS PAVEMENT
	DENOTES HEAVY DUTY BITUMINOUS PAVEMENT
	DENOTES CONCRETE PAVEMENT
	DENOTES HEAVY DUTY CONCRETE PAVEMENT

**SITE DATA**

CURRENT ZONING: O - OFFICE  
BUILDING SETBACK: 51 FT. FROM COLORADO  
15 FT WAYZATA BLVD  
25.5 SIDE YARD

PROPERTY AREA: 4.67 AC. (Includes right-of-way dedicated to the city)  
EXISTING IMPERVIOUS AREA: 3.10 AC. (66.4%)  
PROPOSED IMPERVIOUS AREA: 3.38 AC. (72.4%)

FLOOR AREA RATIO  
77,500 / 196,409 = 39.5%  
GROUND FLOOR AREA RATIO  
27,871 / 196,409 = 14.2%

**SITE NOTES**

- ALL PAVING, CONCRETE CURB, CUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- TYPICAL FULL SIZED PARKING STALL IS 9' X 18' WITH A 24' WIDE TWO WAY DRIVE OR 9' X 18' WITH CURB OVERHANG.
- ALL CURB RADII SHALL BE 3.0' UNLESS OTHERWISE NOTED.
- BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
- SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.
- ALL SIGN POSTS TO BE 2.25" Ø ALUMINUM POSTS.

**OFF-STREET PARKING CALCULATIONS**

CITY PARKING REQUIREMENT: ONE STALLS PER 200 SF MINUS 10% REDUCTION ON TRANSIT LINE

REQUIRED STALLS = 77,500 SF / 200 x 90% = 349 STALLS  
PROPOSED SURFACE STALLS = 253  
PROPOSED GARAGE STALLS = 51  
TOTAL STALLS = 304

PROOF OF PARKING = 20

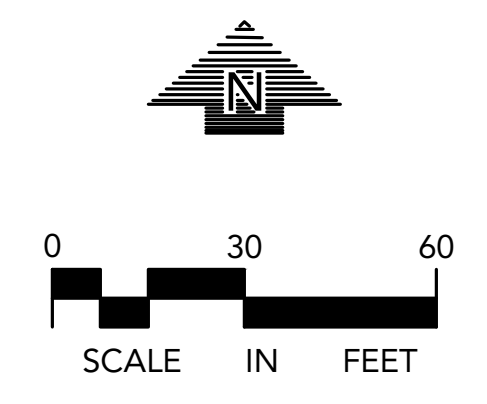
**ACCESSIBLE PARKING**

PROPOSED ACCESSIBLE SURFACE PARKING: 11 STALLS  
REQUIRED ACCESSIBLE PARKING: 8 STALLS\*\*

\*\*REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES FOR 301 TO 400 STALLS



**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



**CADD QUALIFICATION**

CADD files prepared by the Consultant for this project are instruments of the Consultant professional service for use solely with respect to this project. These CADD files shall not be used for other projects. In addition to this project, or for completion of this project, for others without written approval by the Consultant, with the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intellectual or contractual rights, additions, or deletions to these CADD files shall be made in the full file of the project and not in individual drawings or sections and the user shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

**SUBMITTALS/REVISIONS**

06/01/20	CITY SUBMITTAL
06/24/20	CITY SUBMITTAL
07/21/20	CITY SUBMITTAL
07/24/20	CITY SUBMITTAL

**PROFESSIONAL SIGNATURE**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. P2048 - PE 49933  
Date -

**QUALITY CONTROL**

Loucks Project No. 15240.0C  
Project Lead PJD  
Drawn By DDL  
Checked By PJD  
Review Date 07/24/20

C1-1	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP NOTES
C4-1	SANITARY & WATERMAIN
C4-2	STORM SEWER
C8-1	CITY DETAILS
C8-2	CIVIL DETAILS
L1-1	LANDSCAPE PLAN

DORA CALCULATIONS:  
SITE AREA = 77,500 SQ.FT.  
DORA REQUIRED (12% OF GROSS FLOOR AREA) = 9,300 SQ.FT.

DORA PROPOSED = 9,450 SQ.FT.  
(MARKED ON PLAN WITH HATCH)

TREE REPLACEMENT CALCULATIONS:  
REFER TO THE DEMOLITION PLAN (C-1) FOR TREE REPLACEMENT CALCULATIONS.

INCHES OF REPLACEMENT TREES REQUIRED: 625

LANDSCAPE REQUIREMENTS

1- TREE PER 1,000 SF OF GROSS BUILDING FLOOR AREA  
(GROSS FLOOR AREA = 77,500) 77.5 X 6 = 465 TREES  
REQUIRED TREES = 78 TREES (195 CAL INCHES)  
REQUIRED INCHES FOR TREE MITIGATION = 624  
TOTAL REQUIRED CAL INCHES = 624 + 195 = 819 CAL INCHES  
TOTAL PROPOSED CAL INCHES = 305.5 CAL INCHES  
REMAINING INCHES OF REPLACEMENT WILL BE PAID IN CASH PER CITY REQUIREMENTS.

PROPOSED TREES - CALIPER INCHES  
78 - 2.5" OVERSTORY/9 - 2.0" OVERSTORY/  
29 - 2.5" EVERGREEN/16 ORNAMENTALS/  
116 ORNAMENTALS = 8-2.5" OVERSTORY

78 \* 2.5 = 195 INCHES  
9 \* 2.0 = 18 INCHES  
29 \* 2.5 = 72.5 INCHES  
8 \* 2.5 = 20 INCHES  
TOTAL PROPOSED INCHES = 305.5 CAL INCHES

2- SHRUBS PER 1,000 SF OF GROSS BUILDING FLOOR AREA  
(GROSS FLOOR AREA = 77,500) 77.5 X 6 = 465 SHRUBS  
REQUIRED SHRUBS = 465 SHRUBS  
PROPOSED SHRUBS = 264 SHRUBS, 170 GRASSES, 244 PERENNIALS

IRRIGATION NOTES

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION.

IRRIGATION LAYOUT WILL BE SUBMITTED TO THE CITY OF ST. LOUIS PARK BY THE LANDSCAPE ARCHITECTURE FOR APPROVAL PRIOR TO CONSTRUCTION.

IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ADJACENT BUILDING FOUNDATION.

CONTRACTOR TO CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUBMITTING SHOP DRAWINGS.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM. IRRIGATION SYSTEM TO NOT SPRAY THE BUILDING.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING/SOD/SEED ARE ESTABLISHED.

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
BL	13	BOULEVARD LINDEN	Tilia americana 'Boulevard'	B & B	2.5" Cal
CH	9	COMMON HACKBERRY	Celtis occidentalis	B & B	2" Cal
IH	10	IMPERIAL HONEYLOCUST	Gleditsia triacanthos 'Imperial TM'	B & B	2.5" Cal
NM	4	NORTHWOOD MAPLE	Acer rubrum 'Northwood'	B & B	2.5" Cal
RR	11	RENAISSANCE REFLECTION BIRCH	Betula papyrifera 'Renaissance Reflection'	B & B	8" HGT
RB	4	RIVER BIRCH	Betula nigra	B & B	8" HGT
SGM	9	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5" Cal
SKH	24	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skyline'	B & B	2.5" Cal
QB	3	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5" Cal
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
BS	15	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B	6' HGT
PP	6	PONDEROSA PINE FULL FORM	Pinus ponderosa	B & B	6' HGT
SCP	8	SCOTCH PINE FULL FORM	Pinus sylvestris	B & B	6' HGT
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
TH	2	THORNLESS HAWTHORN	Crataegus crus-galli 'Inermis'	B & B	1.5" Cal
SSC	7	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	B & B	1.5" Cal
PC	2	PAIRIFIRE CRABAPPLE	Malus x 'Prairifire'	B & B	1.5" Cal
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
AW5	60	ANTHONY WATERER SPIREA	Spiraea x bumalda 'Anthony Waterer'	5 gal	24" HGT
AD	3	ARCTIC FIRE DOGWOOD	Cornus sericea 'Arctic Fire'	5 gal	24" HGT
CV	17	COMPACT AMERICAN VIBURNUM	Viburnum trilobum 'Bailey Compact'	5 gal	24" HGT
GS	17	GOLDFLAME SPIREA	Spiraea x bumalda 'Goldflame'	5 gal	24" HGT
GAC	44	GREEN MOUND ALPINE CURRANT	Ribes alpinum 'Green Mound'	5 gal	24" HGT
ISH	12	INVINCIBLE SPIRIT HYDRANGEA	Hydrangea arborescens 'Invincible Spirit' TM	5 gal	24" HGT
LPS	15	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	5 gal	24" HGT
ML	12	MISS KIM LILAC	Syringa patula 'Miss Kim'	5 gal	24" HGT
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
FG	116	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal	
SH	83	PRAIRIE DROPS EED	Sporobolus heterolepis	1 gal	
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
AJ	18	ANDORRA COMPACT JUNIPER	Juniperus horizontalis 'Plumosa Compacta'	5 gal	18" SPRD
LGJ	8	LIME GLOW JUNIPER	Juniperus chinensis 'Lime Glow'	5 gal	18" SPRD
M2	18	MEDORA JUNIPER FULL FORM	Juniperus scopulorum 'Medora'	15 gal	4' HGT
MJJ	30	MINT JULEP JUNIPER	Juniperus chinensis 'Montpel'	5 gal	18" SPRD
NY	5	NOVA YEW	Taxus cuspidata 'Nova'	5 gal	18" SPRD
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
BAD	81	BAJA DAYLILY	Hemerocallis x 'Baja'	1 gal	
LS	23	LITTLE SPIRE RUSSIAN SAGE	Perovskia x 'Little Spire'	1 gal	
PHO	60	PATRIOT HOSTA	Hosta x 'Patriot'	1 gal	
PR	5	POT OF GOLD RUDBECKIA	Rudbeckia fulgida 'Pot of Gold'	1 gal	
SD	59	STELLA D'ORO DAYLILY	Hemerocallis x 'Stella de Oro'	1 gal	

HATCH LEGEND

- SOD
- PLANTING BED - SHREDDED HARDWOOD MULCH, COLOR: COCOA
- PLANTING BED - SHREDDED HARDWOOD MULCH, COLOR: GOLD
- NATIVE GRASS SEED MIXTURE W/ WILD FLOWERS
- DRAINAGE AREA - 1.5" ST. CLOUD GRANITE ROCK MULCH OVER FABRIC

LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE SLOPED JOINTS, OR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V-CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL, STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT WILL BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCE.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK METAL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

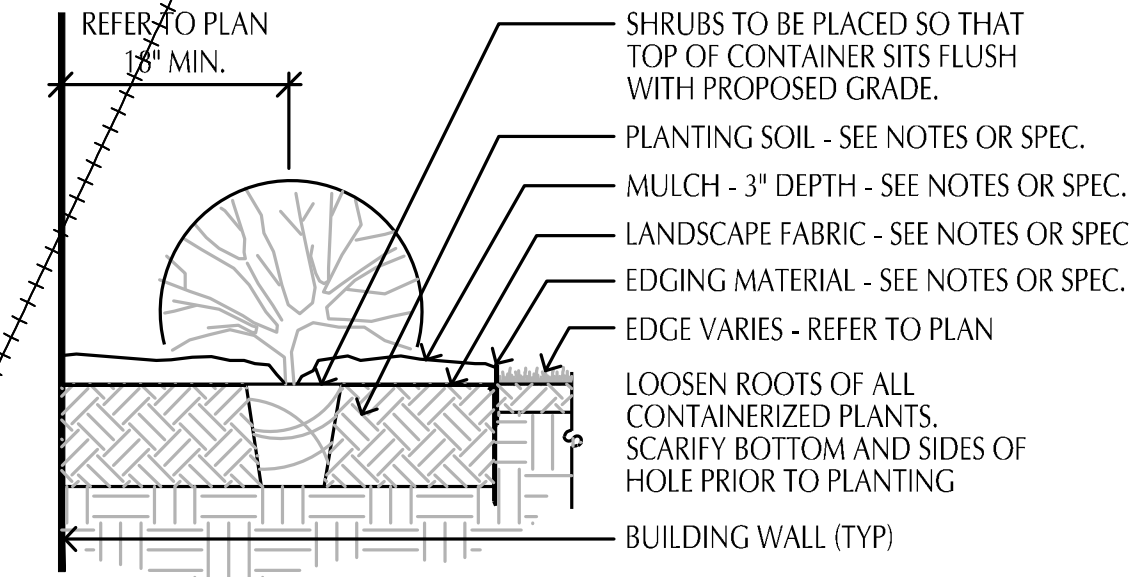
CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

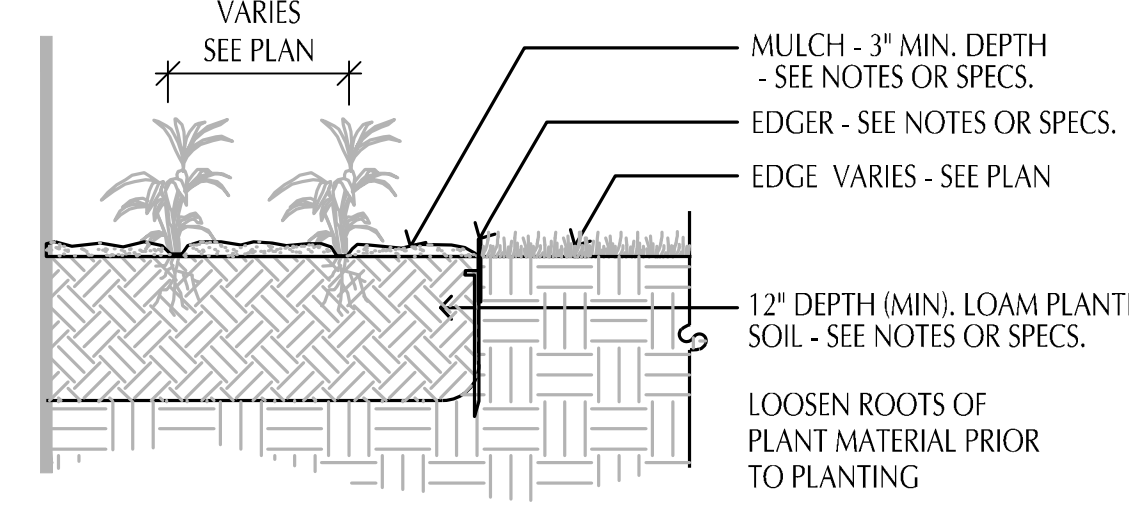
UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEEDSOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15. DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

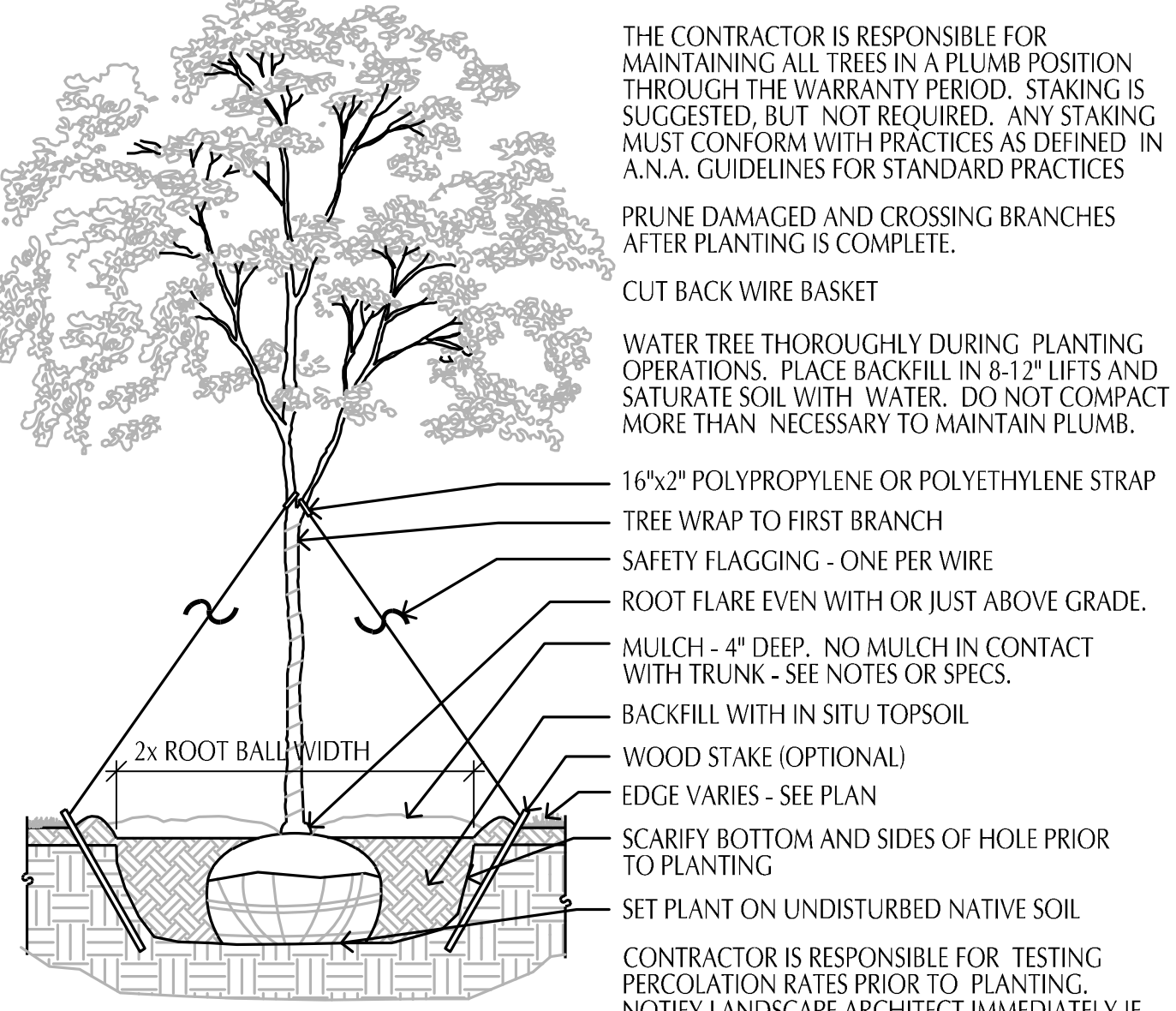
LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.



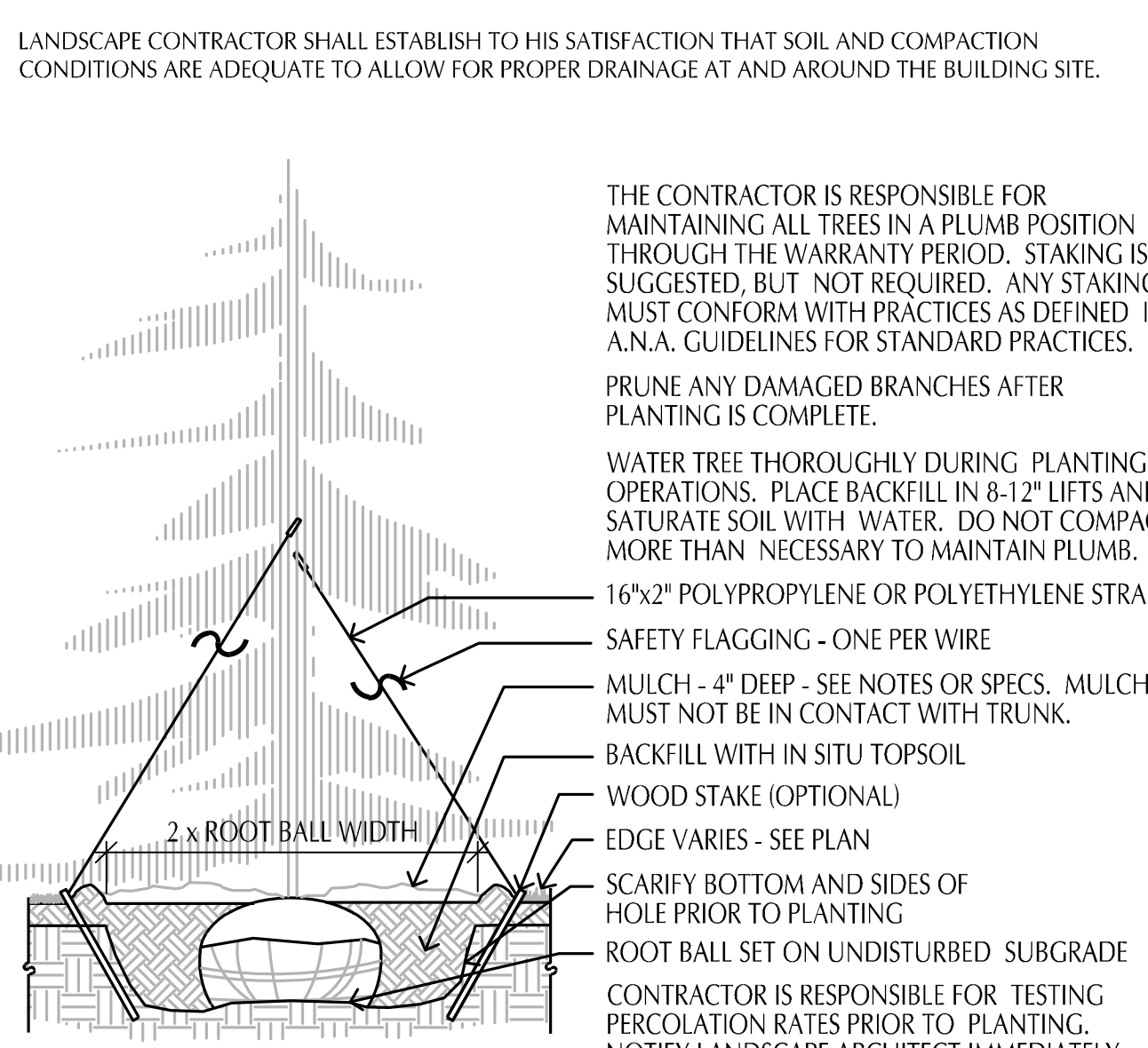
1 SHRUB PLANTING DETAIL SCALE: 3/4" = 1'-0"



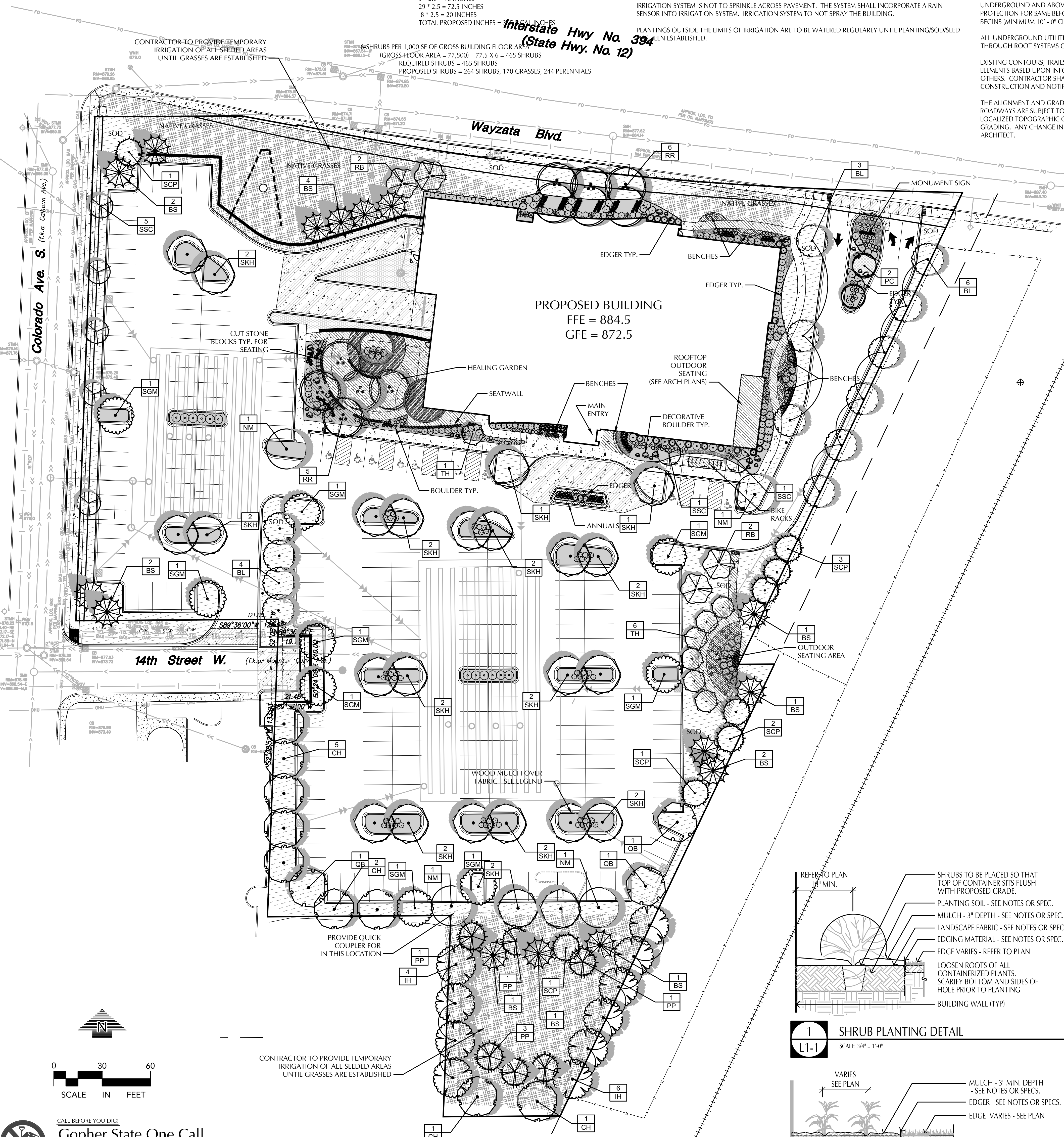
2 PERENNIAL PLANTING SCALE: 3/4" = 1'-0"

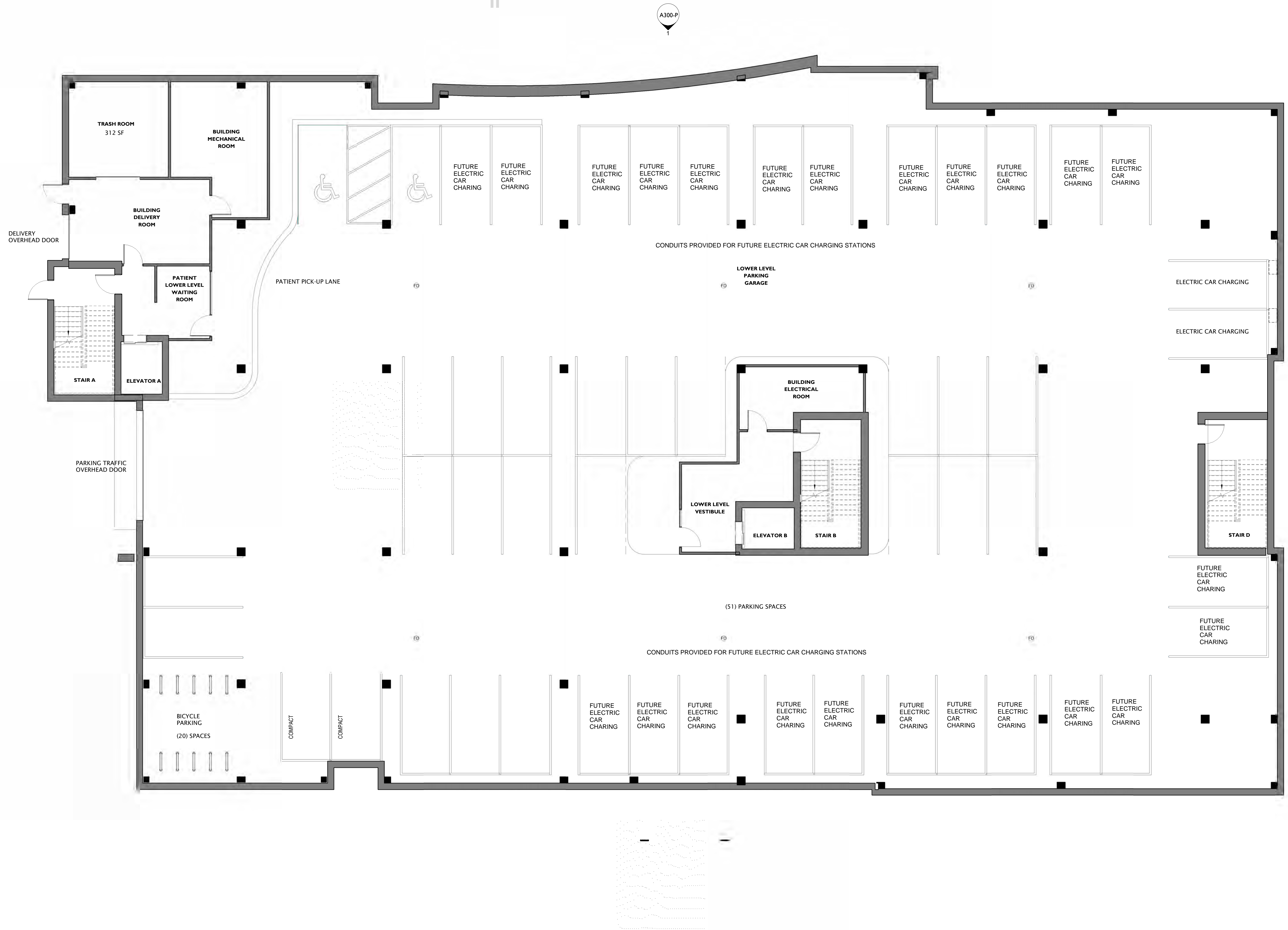


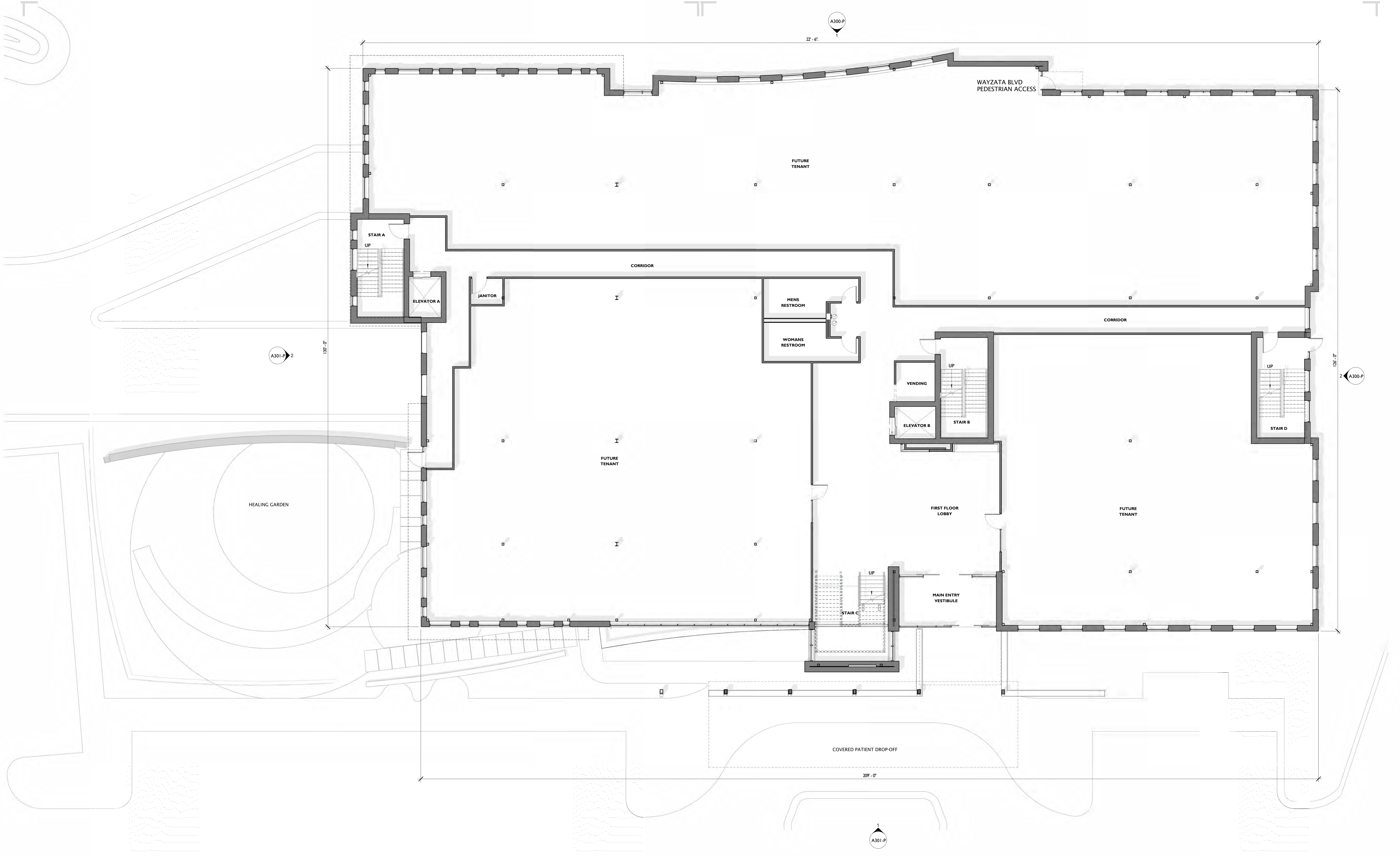
3 DECIDUOUS TREE PLANTING DETAIL SCALE: 1/2" = 1'-0"

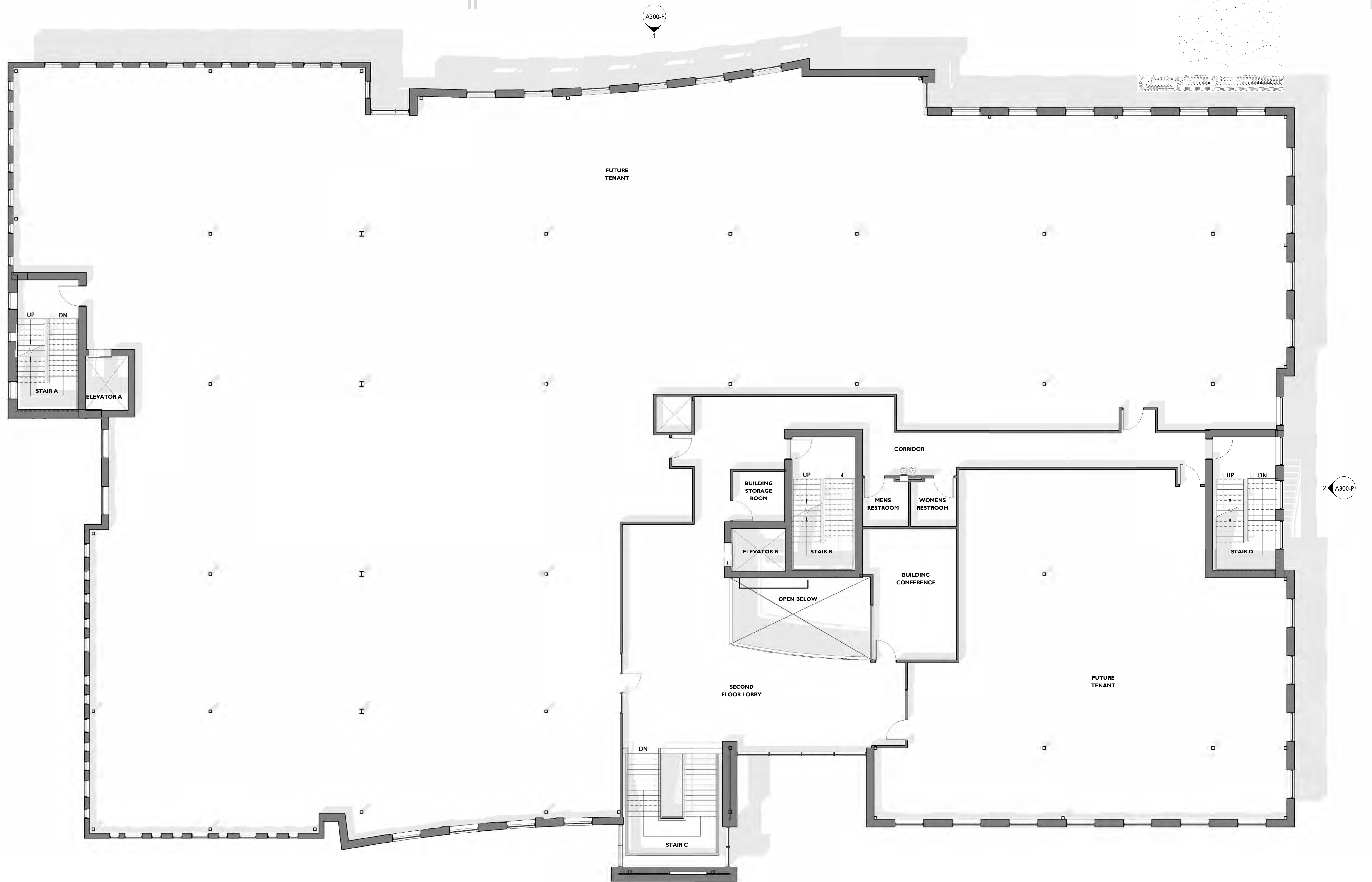


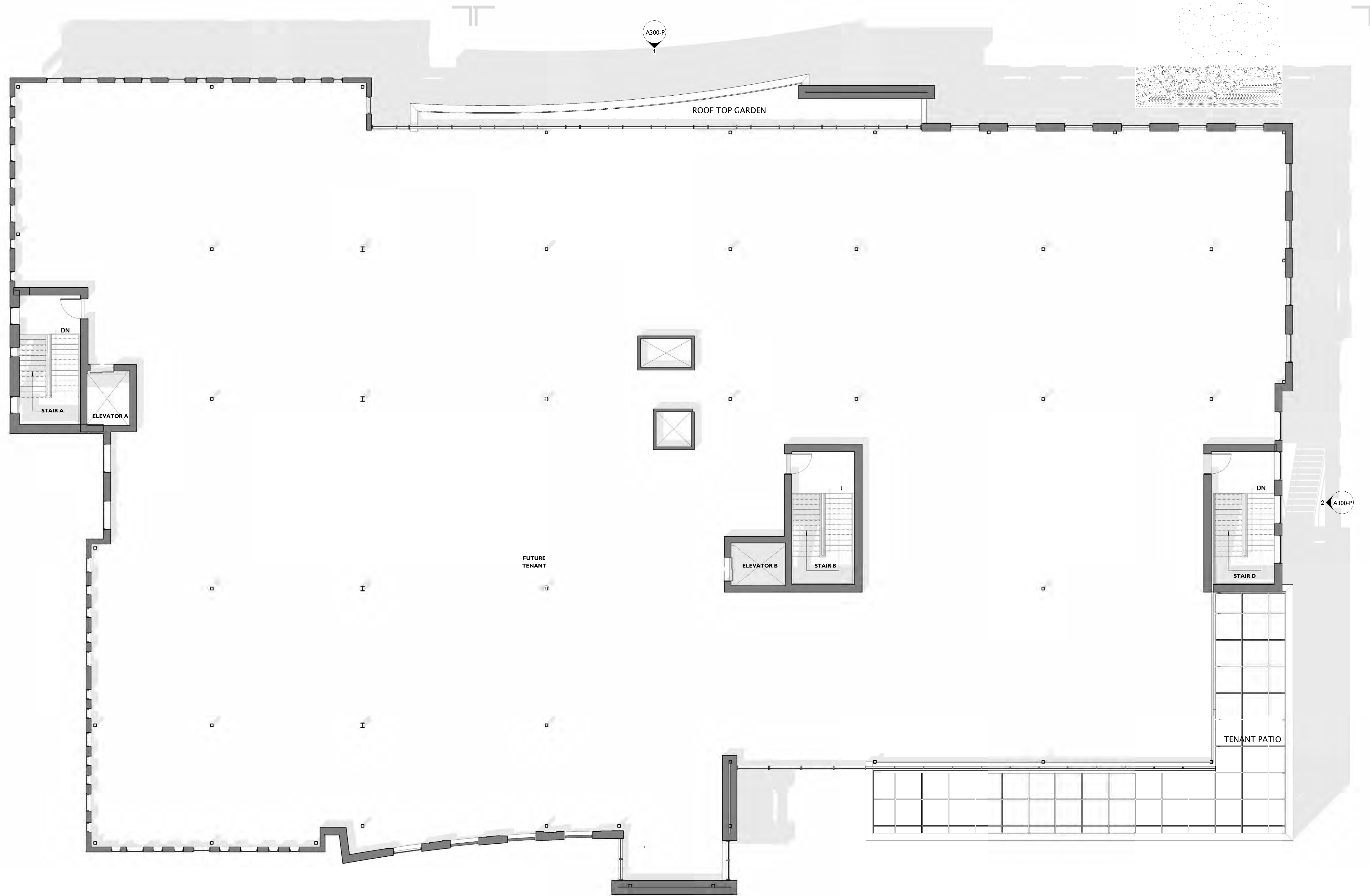
4 CONIFEROUS TREE PLANTING DETAIL SCALE: 1/2" = 1'-0"

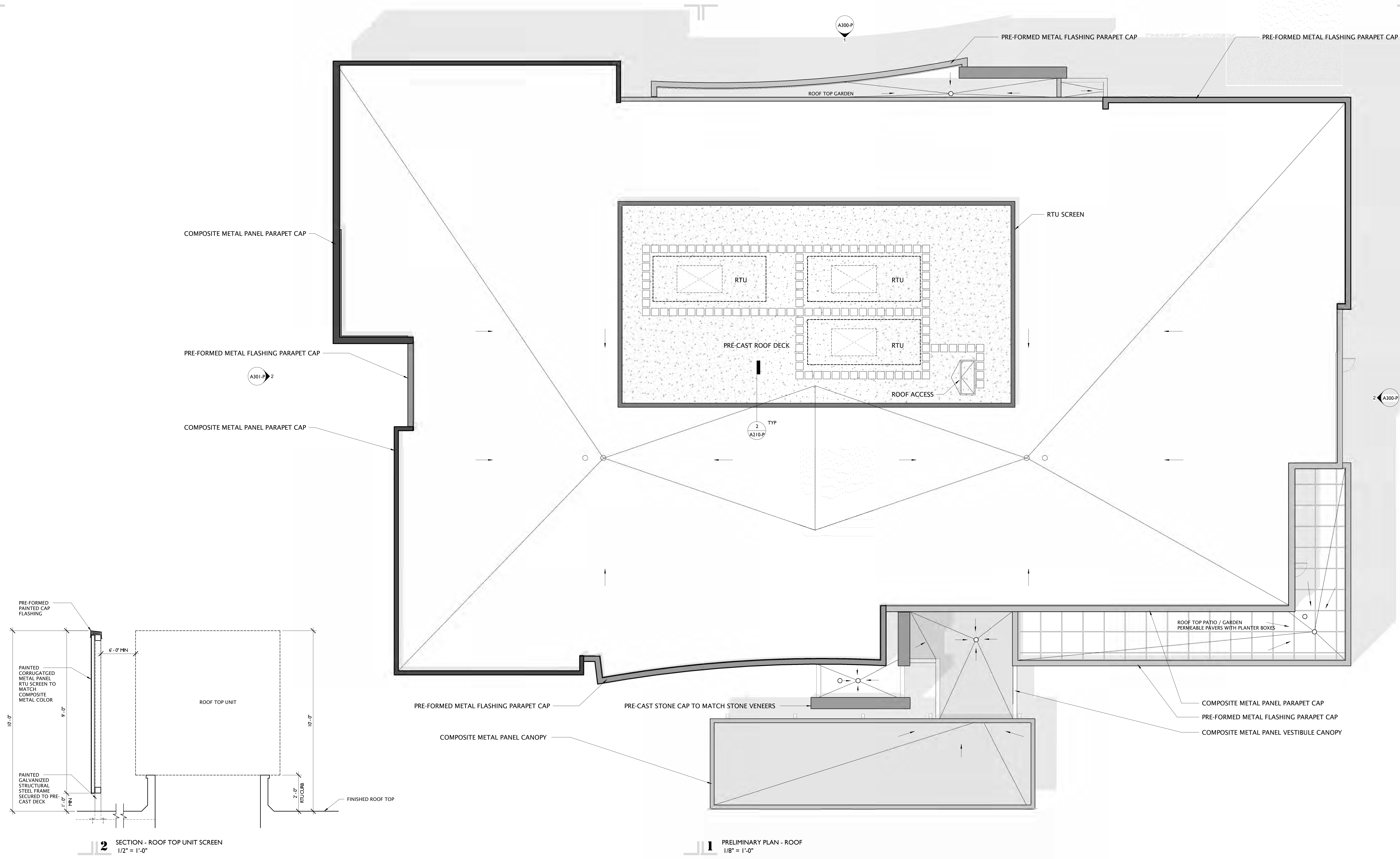








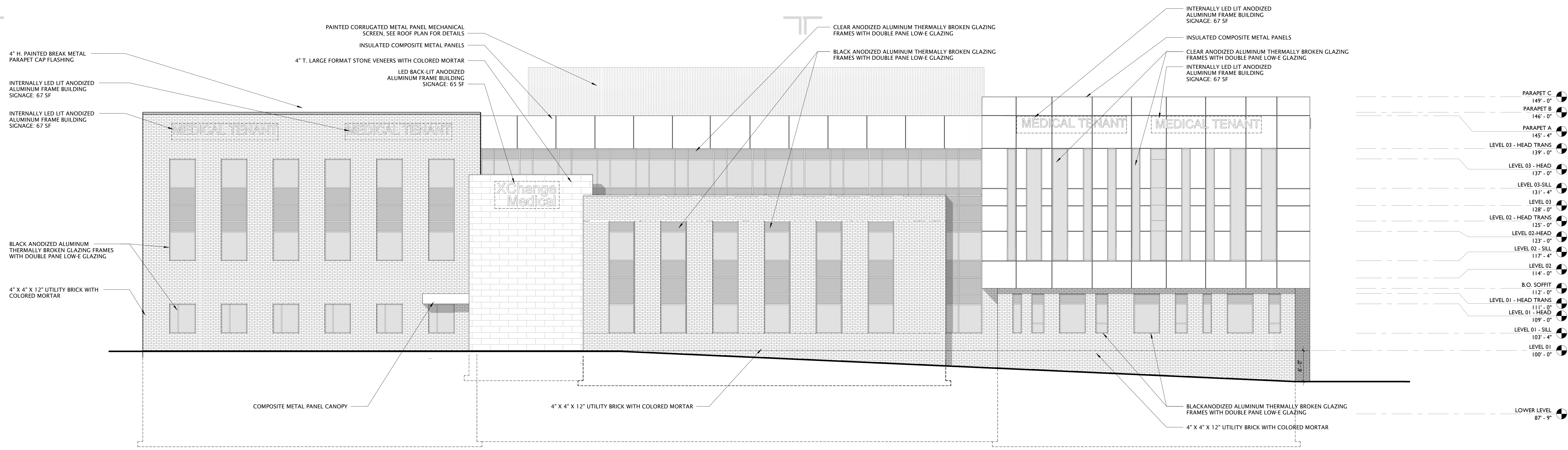




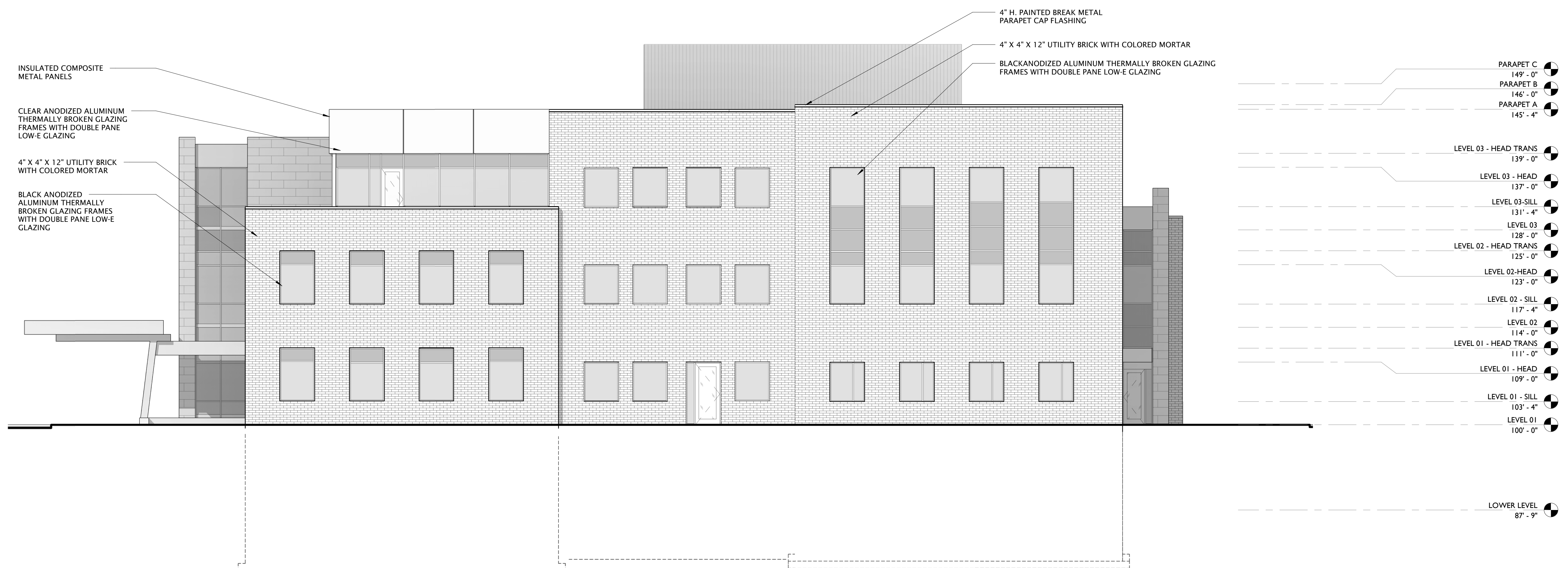
**2** SECTION - ROOF TOP UNIT SCREEN  
1/2" = 1'-0"

**1** PRELIMINARY PLAN - ROOF  
1/8" = 1'-0"





**1** ELEVATION - NORTH - PRESENTATION  
1/8" = 1'-0"

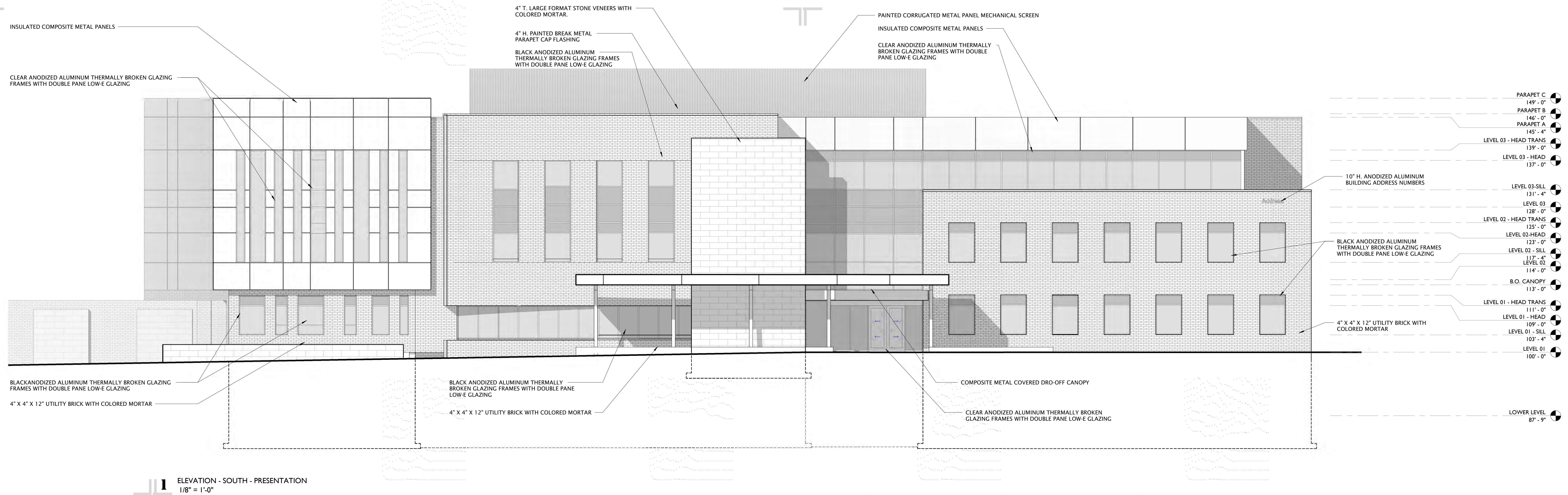


**2** ELEVATION - EAST - PRESENTATION  
1/8" = 1'-0"

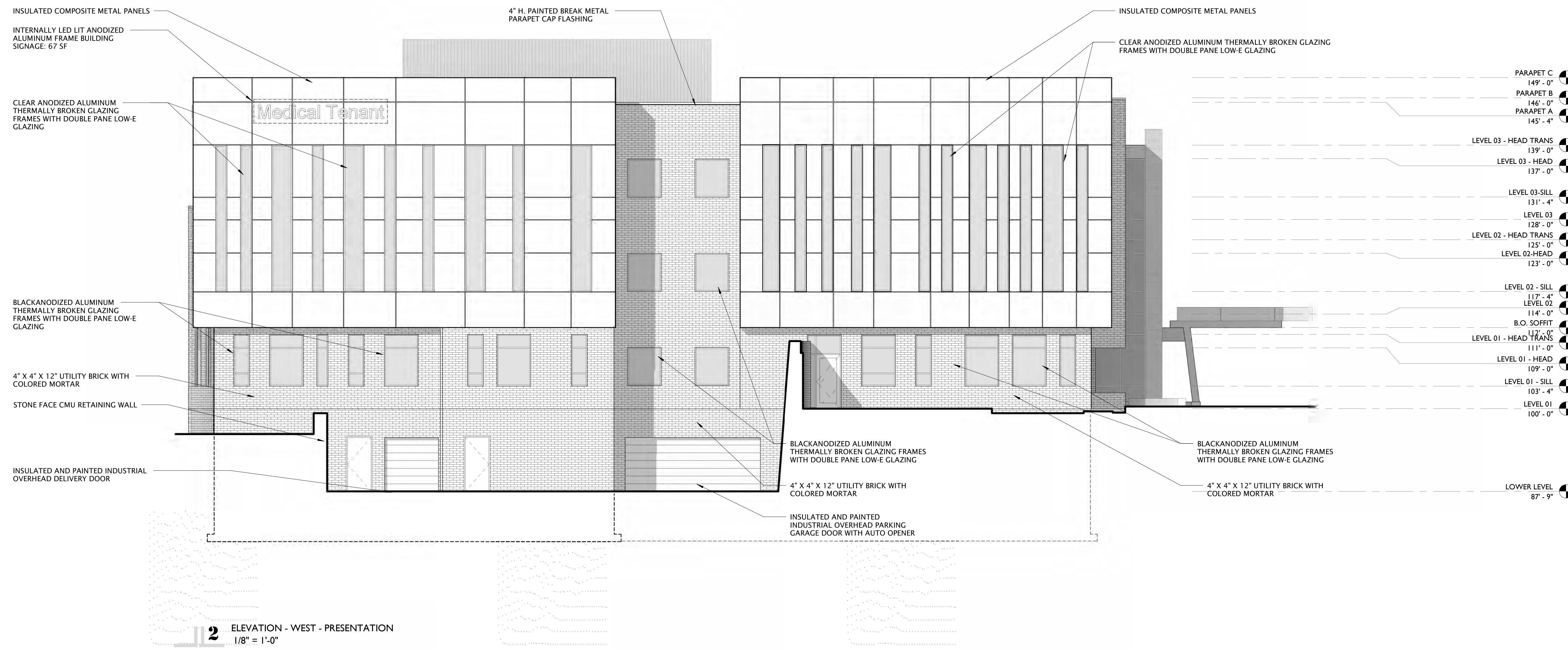
**BUILDING MATERIALS**

PER SECTION 36-366  
MIN 60% CLASS I BUILDING MATERIALS PER ELEVATION VISIBLE FROM OFF-SITE.

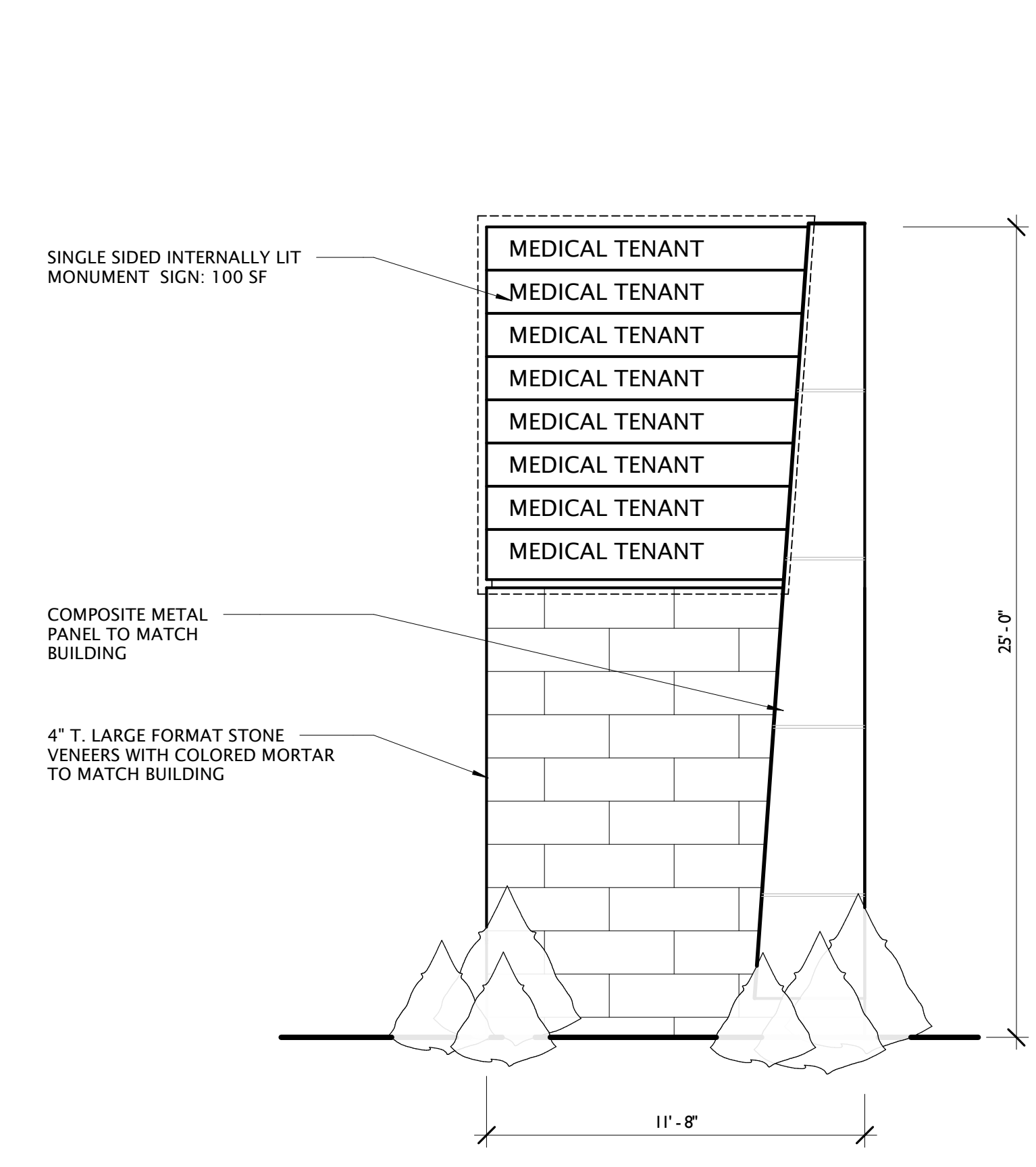
Direction	Material	Area (SF)	Percentage
NORTH:	BRICK	4,411 SF	41%
	STONE	774 SF	7%
	METAL PANEL	2,249 SF	21%
	GLASS	3,306 SF	31%
EAST:	BRICK	4,002 SF	72%
	STONE	N/A	0%
	METAL PANEL	148 SF	3%
	GLASS	1,425 SF	25%
SOUTH:	BRICK	4,191 SF	42%
	STONE	902 SF	9%
	METAL PANEL	1,812 SF	18%
	GLASS	3,091 SF	31%
WEST:	BRICK	2,762 SF	36%
	STONE	N/A	0%
	METAL PANEL	3,069 SF	40%
	GLASS	1,841 SF	24%
BUILDING TOTAL:	BRICK	15,366	45%
	STONE	1,676	5%
	METAL PANEL	7,278	21%
	GLASS	9,663	29%



**1** ELEVATION - SOUTH - PRESENTATION  
1/8" = 1'-0"



**2** ELEVATION - WEST - PRESENTATION  
1/8" = 1'-0"



**3** ELEVATION - MONUMENT SIGN  
1/4" = 1'-0"