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Robert A. Shaffer
Date _____ Reg. No. 20803

FAMILY ORTHODONTICS
5804 EXCELSIOR BLVD., ST. LOUIS PARK, MN 55416

DR. ROSEMARY LELICH

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**EXTERIOR
ARCHITECTURAL
RENDERING**

Date 03-10-2023
Project Number 22-12

A901

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**EXTERIOR
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Date 03-10-2023
Project Number 22-12

A902

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Date 03-10-2023
Project Number 22-12

A903



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FLOOR PLAN

Date 03-13-2023
Project Number 22-12

A1.1

LEGEND

DESCRIPTION OF PROPERTY SURVEYED
(Per First American Title Insurance Company, Issuing Agent: Land Title, Inc., Commitment for Title Insurance File No. 686621, commitment date August 29, 2022)
Lots 19 and 20, Block 4, "Meadowbrook Addition", Hennepin County, Minnesota.
Tomers Property
Certificate of Title No(s): 1504205
Hennepin County, State of Minnesota

PLAT RECORDING INFORMATION
The plot of MEADOWBROOK ADDITION was filed of record on April 15, 1926, as Document No. 2873 in Book 101 of Plats, Page 15.
[] Bearings and/or dimensions listed within brackets are per plat or record documents.

TITLE COMMITMENT
First American Title Insurance Company, Issuing Agent: Land Title, Inc., Commitment for Title Insurance File No. 686621, commitment date August 29, 2022, was relied upon as to matters of record.

Schedule B Exceptions:
Exceptions are indicated on survey with circled numbers unless otherwise noted. Items not listed below are standard exceptions and/or are not survey related.

(2) Easement for highway purposes in favor of the City of St. Louis Park filed as Document Number 144371. (Shown on survey)
(3) Hennepin County State Aid Highway No. 3, Plat 59 filed as Document Number 1893398. (Shown on survey)
(4) Easement(s) in favor of the County of Hennepin as contained in Quit Claim Deed filed as Document Number 4352524. (Shown on survey)

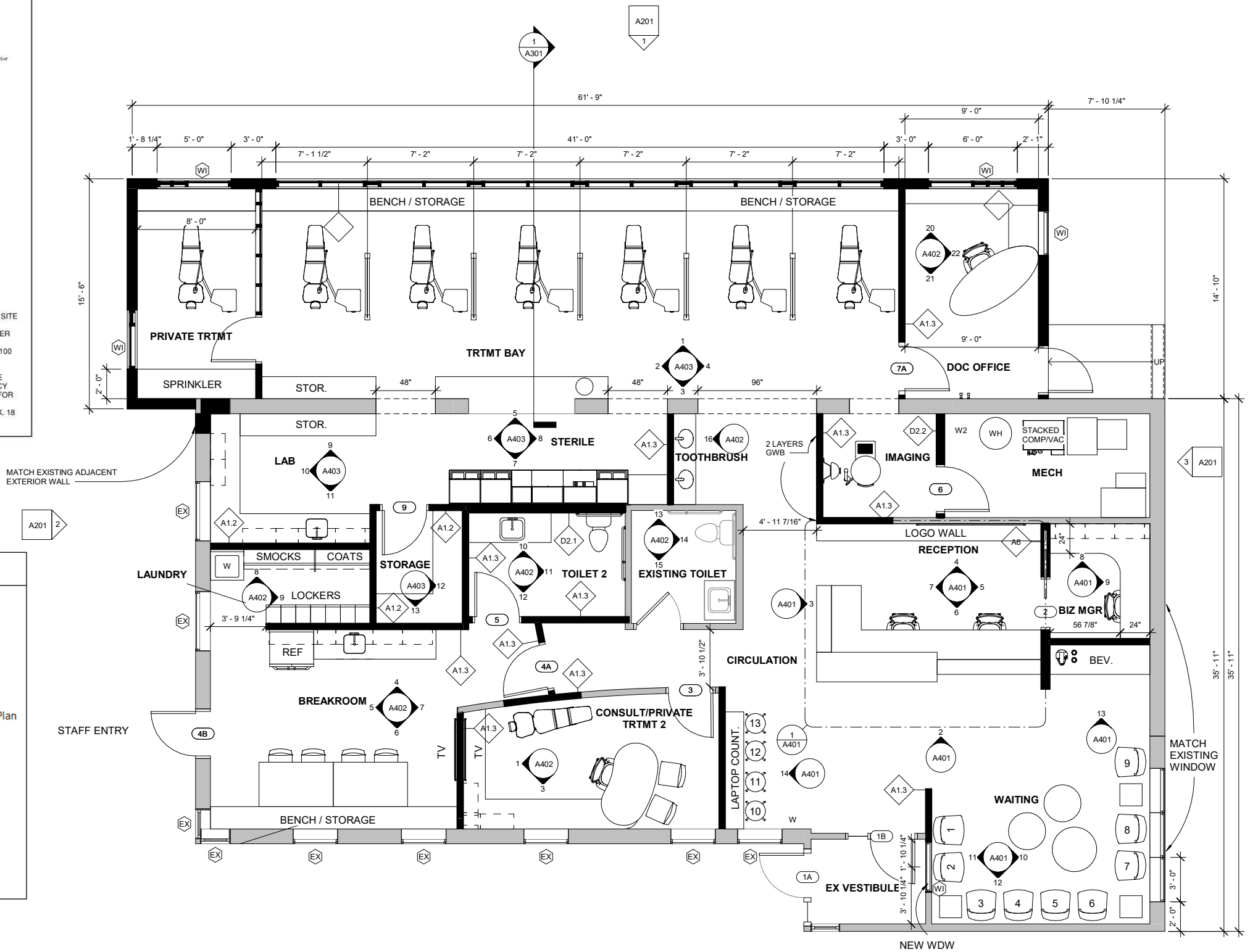
PID: 2111721240066
5804 EXCELSIOR BLVD,
ST. LOUIS PARK, MN 55416
0.34 ACRES
Group B - BUSINESS (ORTHODONTICS CLINIC)
1 STORY - 20 FT
2,113 SF EXISTING BUILDING
3,098 SF BUILDING WITH ADDITION (985 SF ADDITION)
0.21 GROUND FLOOR AREA RATIO
0.21 FLOOR AREA RATIO
79% EXISTING IMPERVIOUS SURFACE
83% IMPERVIOUS SURFACE WITH ADDITION
3,401 SF - USABLE OPEN SPACE EXISTING
2,516 SF - USABLE OPEN SPACE WITH ADDITION

CONSTRUCTION STAGING:
-ALL CONSTRUCTION EQUIPMENT & MATERIALS TO BE STORED ON SITE PARKING LOT, FENCED IN, NO EQUIPMENT ON STREET.
-ANTICIPATED START DATE: JULY 6TH, 2023, COMPLETION NOVEMBER 30, 2023
-HAUL ROUTE: HAZELWOOD STREET TO EXCELSIOR BLVD TO HWY 100 NORTH OR SOUTH
-APPROXIMATE NUMBER OF TRUCKS FOR EXCAVATION AND FILL:
ON TRUCKS FOR SOIL REMOVAL FOR SHALLOW FOOTINGS AND THE ADDITION INTERIOR REMOVAL FOR SAND CUSHION - APPROX. 37 CY TOTAL REMOVED (REST OF THE SOILS EXCAVATED WILL BE USED FOR BACK FILL)
02 TRUCKS FOR IMPORT OF MISC. FILL (SAND CUSHIONS), APPROX. 18 CY IMPORT FOR SAND CUSHION

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SHEET INDEX

A0.01 Floor Plan
A0.02 Exterior Elevations
A0.03 Exterior Architectural Rendering
A0.04 Exterior Architectural Rendering
A0.05 Exterior Architectural Rendering
C0.00 ALTA NSPS LAND TITLE SURVEY
C0.01 Selective Site Demolition and Erosion Control Plan
C0.02 Grading, Drainage, and Erosion Control Plan
C0.03 Utility Plan
C0.04 Paving and Geometric Plan
C0.05 Civil Details
C0.06 Civil Details
L0.01 TREE PRESERVATION PLAN
L0.02 LANDSCAPE PLAN
L0.03 LANDSCAPE DETAILS



1 FLOOR PLAN
A1.1 1/4" = 1'-0"





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EXTERIOR ELEVATIONS

Date 03-13-2023
Project Number 22-12

A201

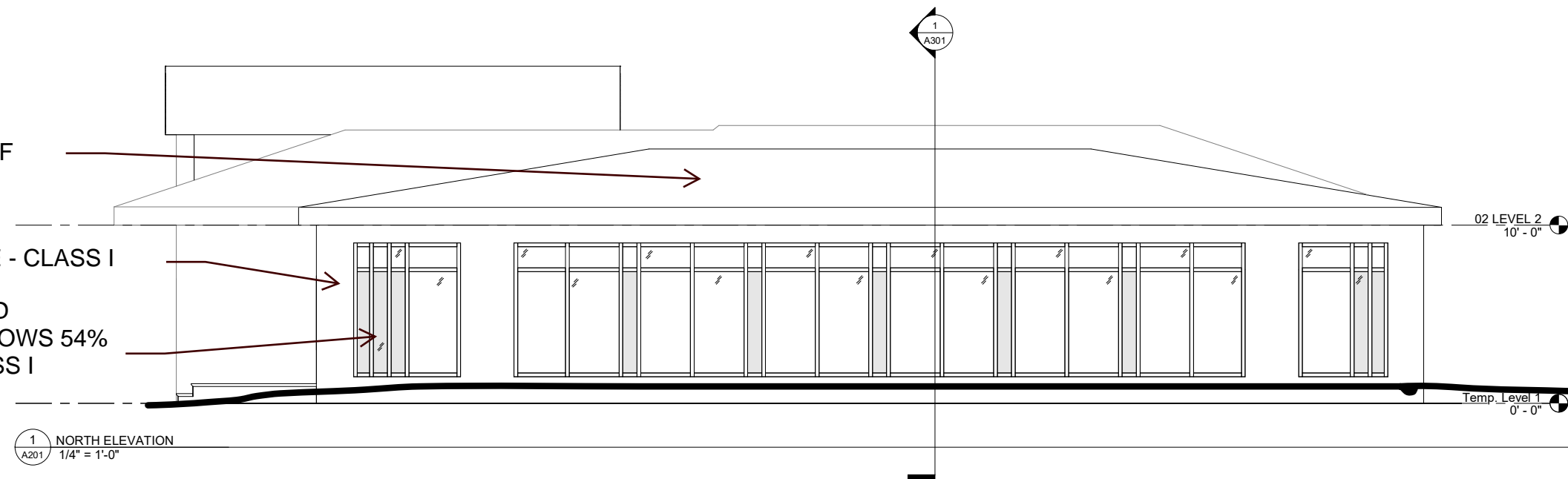
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MEMBRANE ROOF

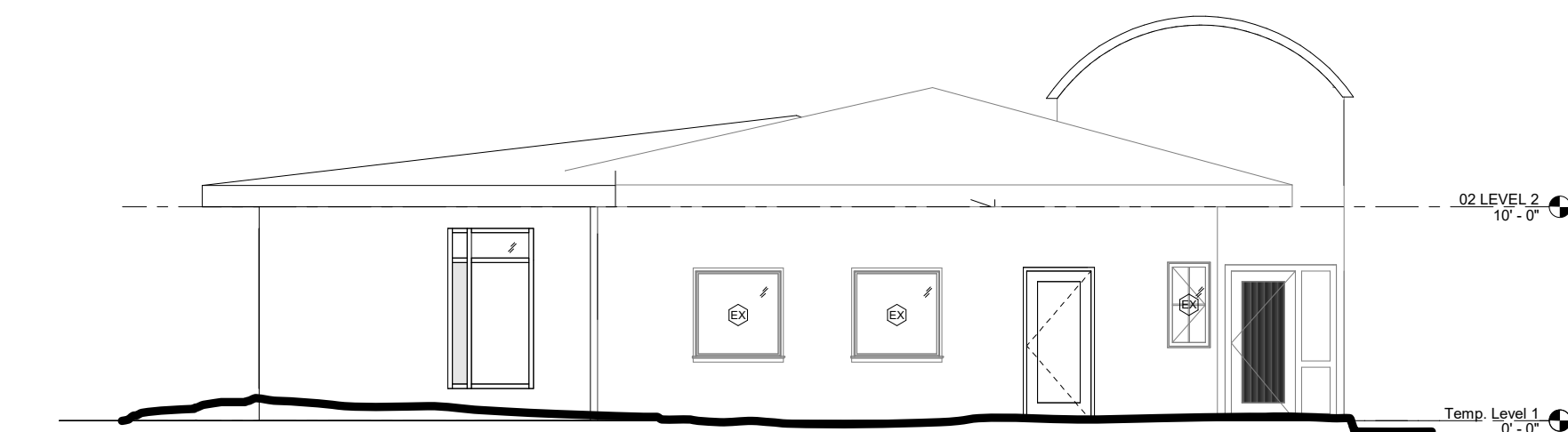
STUCCO FACADE - CLASS I

CLEAR ANODIZED ALUMINUM WINDOWS 54% OF FACADE CLASS I

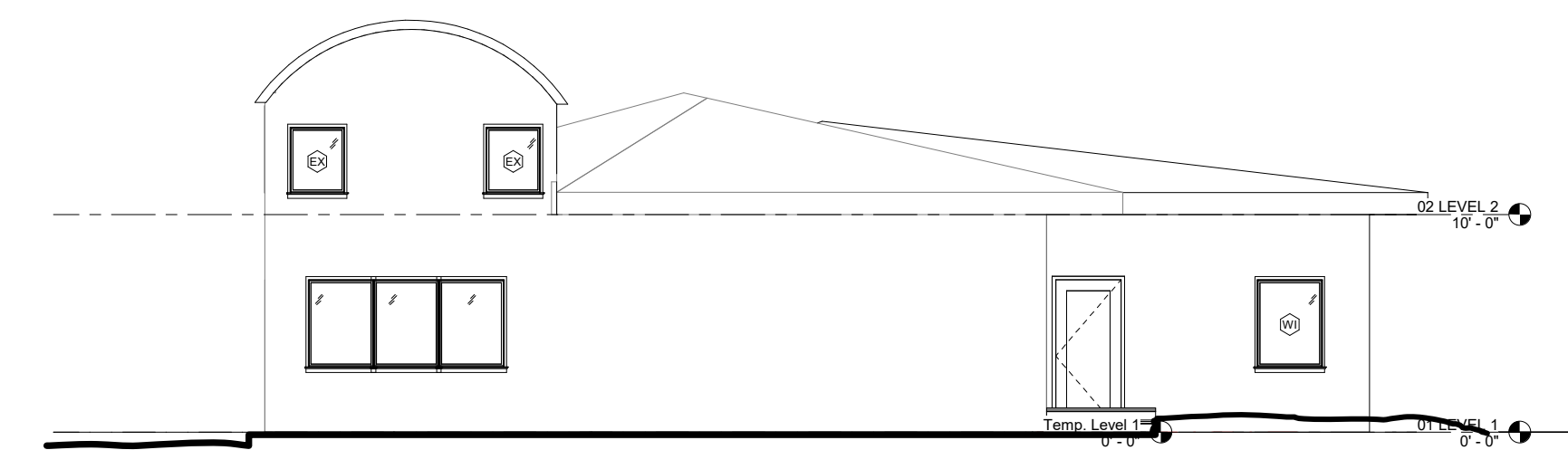
1 NORTH ELEVATION
A201 1/4" = 1'-0"

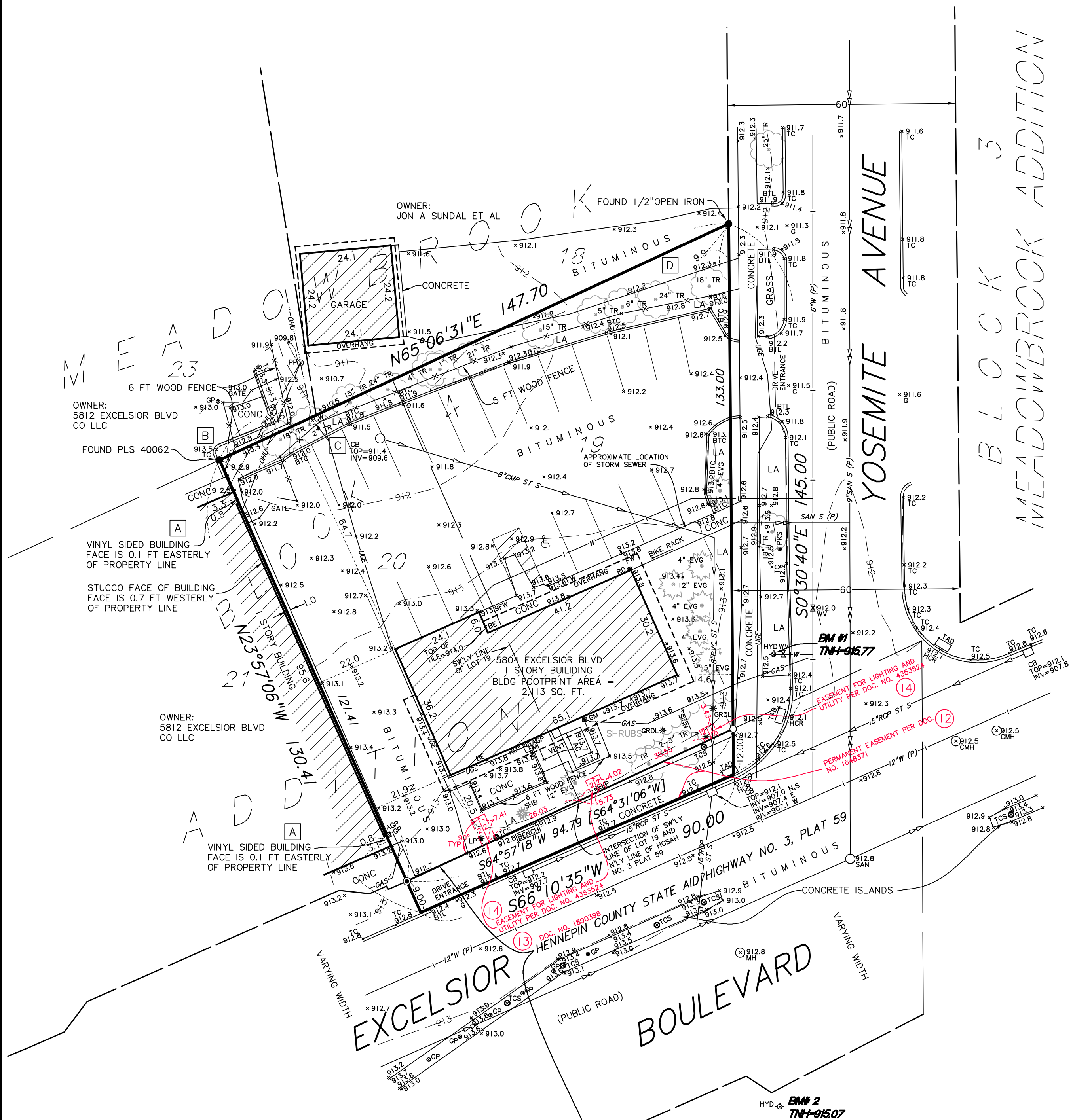


2 EAST ELEVATION
A201 1/4" = 1'-0"



3 WEST ELEVATION
A201 1/4" = 1'-0"





GENERAL NOTES

- 1.) Survey coordinate and bearing basis: Hennepin County Coordinate System (NAD 83 1985 Adjustment from 1991 published values)
- 2.) Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site.

UTILITY NOTES

- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 222203547 and 222203601.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTE

- 1.) The subject property appears to lie within Zone X (Area of Minimal Flood Hazard per the National Flood Insurance Program, Flood Insurance Rate Map No. 27053C0361F, dated November 4, 2016, Community No. 270184. This information was obtained from the FEMA Map Service Center web site.

PARKING

- 21 Regular Spaces
- 1 Disabled Space
- 22 Total Spaces

AREAS

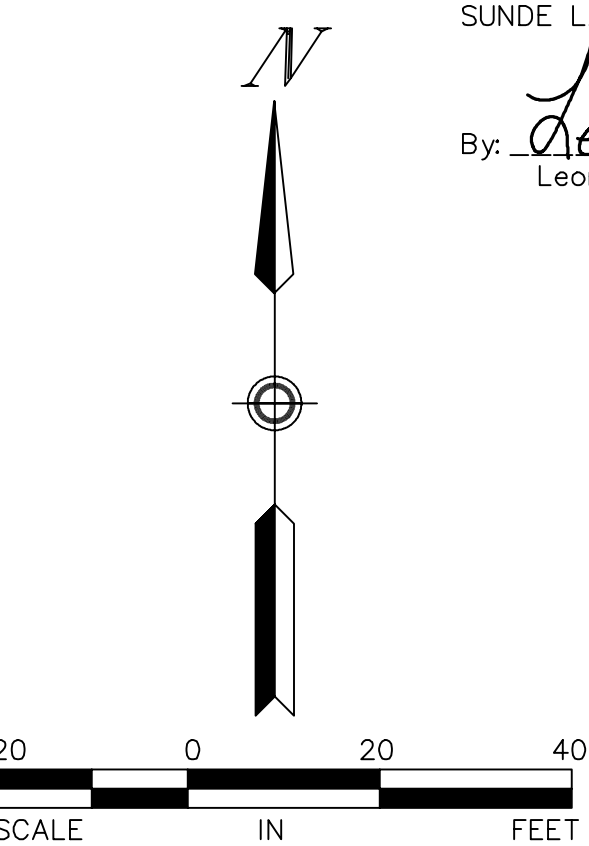
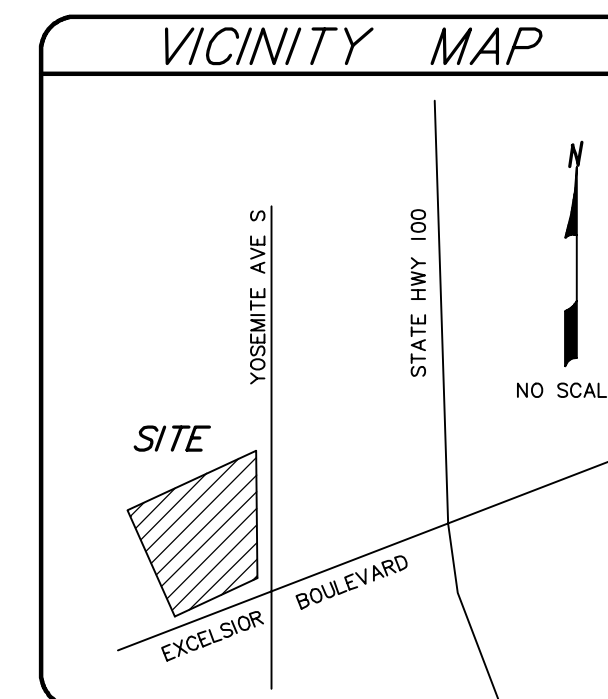
Gross Area = 15,622 square feet or 0.359 acres
 Net [excluding right of way] = 14,699 square feet or 0.337 acres

LEGEND

- Denotes iron monument set marked with P.L.S. No. 44890
- Denotes found iron monument
- ⦿ Denotes 1.17 inch diameter copper magnetized marker with disc cap affixed stamped LS-48900 set
- AC Denotes air conditioner
- AGP Denotes above ground pipe
- BE Denotes building entrance
- BTC Denotes top of bituminous curb
- BTL Denotes beavertail curb
- CB Denotes catch basin
- CMH Denotes communication manhole
- CMP Denotes corrugated metal pipe
- EM Denotes electric meter
- FW Denotes face of walk
- G Denotes gutter elevation
- GM Denotes gas meter
- GP Denotes guard post
- GRDL Denotes ground light
- GW Denotes guy wire
- HCR Denotes disabled ramp
- HYD Denotes fire hydrant
- INV Denotes structure invert
- LA Denotes landscaping
- LP Denotes light pole
- MH Denotes manhole
- OHU Denotes overhead utility lines
- (P) Denotes per plan
- PKS Denotes parking sign
- PP Denotes power pole
- PVC Denotes polyvinylchloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SAN Denotes sanitary manhole
- SAN S Denotes sanitary sewer
- ST S Denotes storm sewer
- TAD Denotes truncated domes plate
- TC Denotes top of concrete curb
- TCS Denotes traffic control sign
- UGE Denotes underground electric line
- W Denotes water line
- WV Denotes water valve
- EVG Denotes evergreen tree
- SHB Denotes shrub
- TR Denotes deciduous tree

BENCHMARKS (BM)
(NGVD 29)

- 1.) Top of top nut of fire hydrant in the northwest quadrant of Excelsior Boulevard and Yosemite Ave. S.
Elevation = 915.77 feet
- 2.) Top of top nut of fire hydrant in the southwest quadrant of Excelsior Boulevard and Yosemite Ave. S.
Elevation = 915.07 feet



DESCRIPTION OF PROPERTY SURVEYED

(Per First American Title Insurance Company, Issuing Agent: Land Title, Inc., Commitment for Title Insurance File No. 666621, commitment date August 29, 2022)

Lots 19 and 20, Block 4, "Meadowbrook Addition", Hennepin County, Minnesota.

Torrens Property
 Certificate of Title No(s): 1504205
 Hennepin County, State of Minnesota

PLAT RECORDING INFORMATION

The plat of MEADOWBROOK ADDITION was filed of record on April 15, 1926, as Document No. 2873 in Book 101 of Plats, Page 18.

[] Bearings and/or dimensions listed within brackets are per plat or record documents.

TITLE COMMITMENT

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Schedule B Exceptions:

- ① Exceptions are indicated on survey with circled numbers unless otherwise noted. Items not listed below are standard exceptions and/or are not survey related.
- 12.) Easement for highway purposes in favor of the City of St. Louis Park filed as Document Number 1648371. (Shown on survey)
- 13.) Hennepin County State Aid Highway No. 3, Plat 59 filed as Document Number 1890398. (Shown on survey)
- 14.) Easement(s) in favor of the County of Hennepin as contained in Quit Claim Deed filed as Document Number 4353524. (Shown on survey)

LIST OF POSSIBLE ENCROACHMENTS

The following list of possible encroachments is only the opinion of this surveyor; should not be interpreted as a legal opinion and should not be interpreted as a complete listing.

- A.) Possible encroachments are indicated on survey with boxed letters as listed below.
- A.) building across the westerly property line
- B.) 6 foot wood fence and overhead utilities across the northwest corner of property
- C.) guy wire on property without an easement
- D.) bituminous driveway crosses the northerly property line

SURVEYOR'S CERTIFICATION

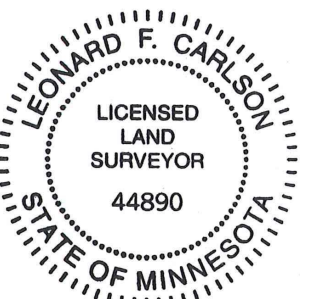
To Leich Properties, LLC, a Minnesota limited liability company; Lendeavor, Inc., a Delaware Corporation, its successors and/or assigns; First American Title Insurance Company and Land Title, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11(a) and 13 of Table A thereof. The fieldwork was completed on August 22, 2022.

Dated this 13th day of September, 2022.

SUNDE LAND SURVEYING, LLC.

By: *Leonard F. Carlson*
 Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890

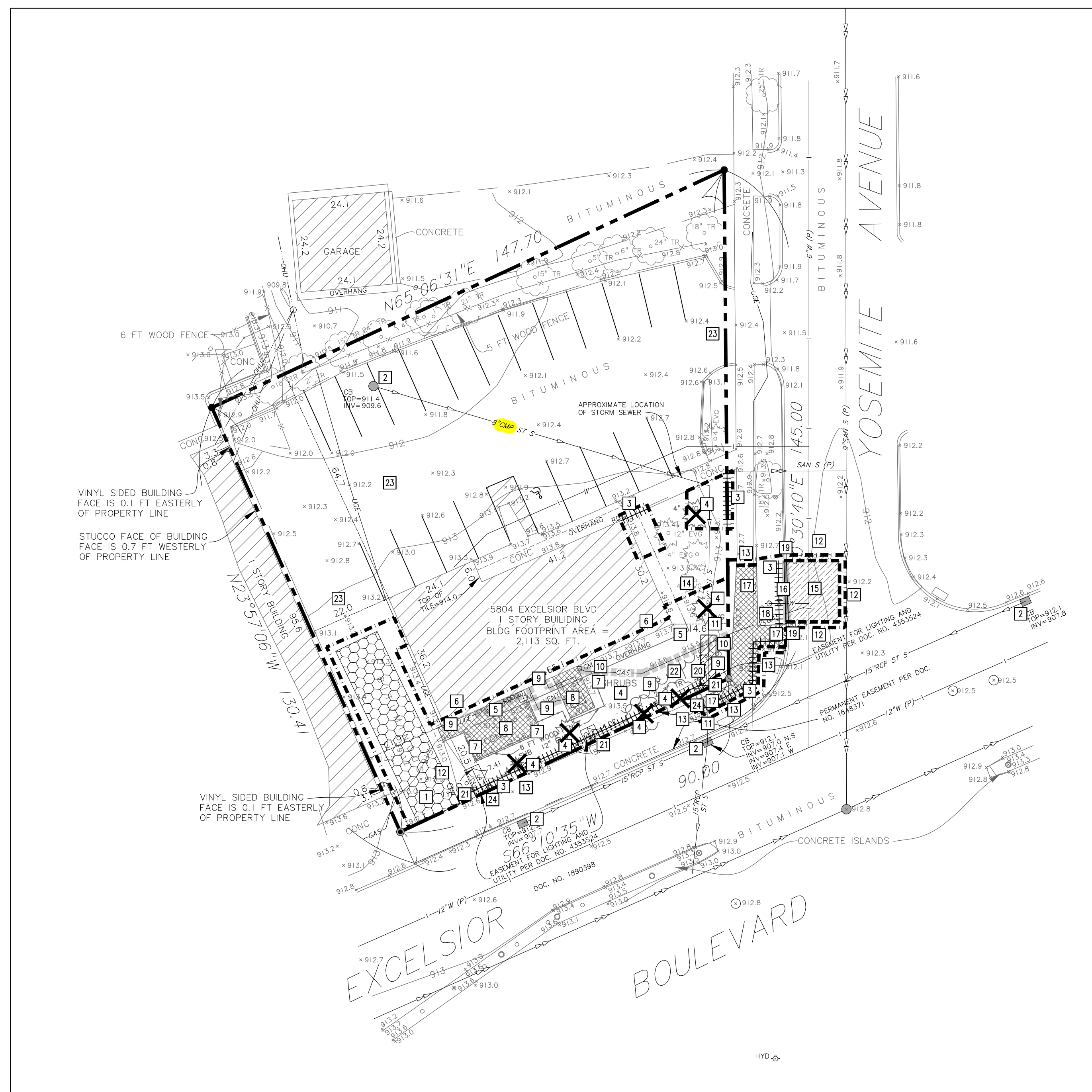
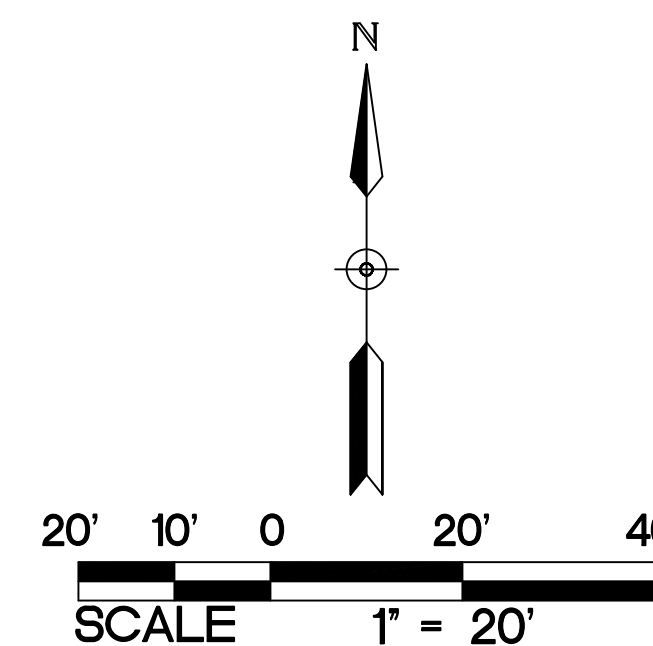


Added sanitary line per plan	NDN	09/28/2022
Revision	By	Date
	NDN	
Drawing Title: ALTA / NSPS LAND TITLE SURVEY FOR: FAMILY ORTHODONTICS 5804 Excelsior Boulevard St. Louis Park, MN		
SUNDE LAND SURVEYING www.sunde.com		
Main Office: 9001 East Bloomington Freeway (35W) • Suite 118 Bloomington, Minnesota 55420-3435 952-881-2455 (Fax: 952-888-9526)		
Project: 86-332-B	Blk/Pg: 1184/04	Date: 09/13/2022
Township: 117	Range: 21	Section: 21
File: 86332B001.dwg		Sheet: 1 of 1



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PROPOSED PLAN SYMBOLS table with symbols for construction limits, siltation fence, sediment control log, property line, sawcut line, construction entrance, bituminous removal, concrete removal, pipe removal, small utility removal, curb removal, and tree removal.

NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 2/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

NOTE: CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO OBTAIN CLEAR UNDERSTANDING OF THE FULL SCOPE OF TREE, UNDER BRUSH, AND OTHER VEGETATION CLEARING THAT NEEDS TO OCCUR.

ABBREVIATIONS table listing symbols for Building, Benchmark, Catch Basin, Corrugated Metal Pipe, Concrete, Elevation, Electric Meter, Existing, Finished Floor Elevation, Gas Meter, Invert, Maximum, Manhole, Minimum, Overhead Utility, Polyvinyl Chloride, Reinforced Concrete Pipe, Roof Drain, and Underground Electric.

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- 1 INSTALL CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C500.
- 2 INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 2/C500.
- 3 INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 3/C500 AND 4/C500.
- 4 REMOVE TREE OR SHRUBS IN THEIR ENTIRETY INCLUDING STUMPS.
- 5 REMOVE BUILDING'S OVERHANG AND MECHANICAL AREA, INCLUDING MECHANICAL EQUIPMENT, FOOTINGS, ROOF DRAIN, AND SMALL UTILITIES. COORDINATE REMOVAL OF SMALL UTILITIES WITH LOCAL UTILITY COMPANIES.
- 6 EXISTING BUILDING TO REMAIN. PROTECT AT ALL TIMES.
- 7 REMOVE FENCE IN ITS ENTIRETY.
- 8 REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY TO THE APPROXIMATE EXTENTS SHOWN.
- 9 REMOVE EXISTING ELECTRICAL LINES, ELECTRICAL METER, GROUND LIGHTS FOR SIGN, AND FOUNDATIONS TO THE APPROXIMATE EXTENT SHOWN. CONTRACTOR SHALL COORDINATE EXACT LIMITS OF REMOVAL WITH THE ELECTRICAL CONTRACTOR.
- 10 REMOVE EXISTING GAS LINES TO THE EXTENTS SHOWN. COORDINATE WITH UTILITY OWNER.
- 11 EXISTING UNDERGROUND UTILITIES TO REMAIN. PROTECT AT ALL TIMES.
- 12 EXISTING BITUMINOUS PAVEMENT TO REMAIN. PROTECT AT ALL TIMES.
- 13 EXISTING CONCRETE SIDEWALK PAVEMENT TO REMAIN. PROTECT AT ALL TIMES.
- 14 EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
- 15 SAWCUT AND REMOVE BITUMINOUS PAVEMENT AS NECESSARY FOR WATER SERVICE INSTALLATION.
- 16 SAWCUT AND REMOVE CURB AND GUTTER AS NECESSARY FOR WATER SERVICE INSTALLATION.
- 17 SAWCUT AND REMOVE CONCRETE SIDEWALK AS NECESSARY FOR UTILITY INSTALLATION.
- 18 EXISTING GATE VALVE AND HYDRANT TO REMAIN. PROTECT AT ALL TIMES.
- 19 EXISTING CONCRETE CURB AND GUTTER TO REMAIN. PROTECT AT ALL TIMES.
- 20 REMOVE STORM SEWER IN ITS ENTIRETY TO THE EXTENTS SHOWN.
- 21 EXISTING PUBLIC STREET LIGHTS TO REMAIN. PROTECT AT ALL TIMES. IF DISTURBANCE IS NECESSARY, SALVAGE LIGHT POST AND FIXTURE AND RESET LIGHT POLE IN ORIGINAL LOCATION AS DIRECTED BY CITY TO MATCH EXISTING CONDITIONS.
- 22 REMOVE SIGN IN ITS ENTIRETY INCLUDING FOUNDATION.
- 23 THE EXISTING PARKING LOT AND DRIVEWAY SHALL REMAIN. THE CONTRACTOR SHALL RESTORE THE PARKING LOT AND DRIVEWAY TO ORIGINAL CONDITIONS IF DISTURBED OR DAMAGED DUE TO CONSTRUCTION.
- 24 PROTECT EXISTING TRAFFIC SIGN AT ALL TIMES. IF DISTURBANCE IS NECESSARY, SALVAGE AND RESET SIGN IN ORIGINAL LOCATION AS DIRECTED BY CITY/COUNTY TO MATCH EXISTING CONDITIONS.

DEMOLITION AND REMOVAL NOTES:

- 1. CONTRACTOR SHALL FOLLOW ALL CITY OF ST LOUIS PARK STANDARDS AND SPECIFICATIONS.
- 2. PRIOR TO START OF ANY CONSTRUCTION ACTIVITY, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF ST LOUIS PARK. PERIMETER SEDIMENT PROTECTION SHALL BE INSTALLED ALONG THE CONTOUR.
- 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR, IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER STATE ONE CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- 4. THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- 5. REMOVE ALL GAS AND ELECTRIC LINES UNDER PROPOSED BUILDING FOOTPRINT. COORDINATE DISCONNECTION OF EACH UTILITY WITH THE UTILITY OWNER.
- 6. ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT ARE TO BE PROTECTED AT ALL TIMES.
- 7. EXISTING CONCRETE PAVEMENT AND CURB AND GUTTER SHOWN TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT SHALL BE REMOVED FROM THE SAW CUT LINES TO THE NEAREST JOINT.
- 8. THE BACKGROUND INFORMATION WAS PREPARED BY SUNDE LAND SURVEYING. (952) 881-2455.
- 9. ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF ST LOUIS PARK. ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF ST LOUIS PARK STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- 1. CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED WITH THE CITY OF ST LOUIS PARK AND UTILITY OWNER.
- 2. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
- 3. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
- 4. THE CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF ST LOUIS PARK FOR THE EXACT CONSTRUCTION ENTRANCE LOCATION.

1 SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
C100 1"=20'

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota

Joel W. Maier
Date XX/XX/2023 Reg. No. 19181

FAMILY ORTHODONTICS
XX-XX-XX
CONSTRUCTION DOCUMENTS

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SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN

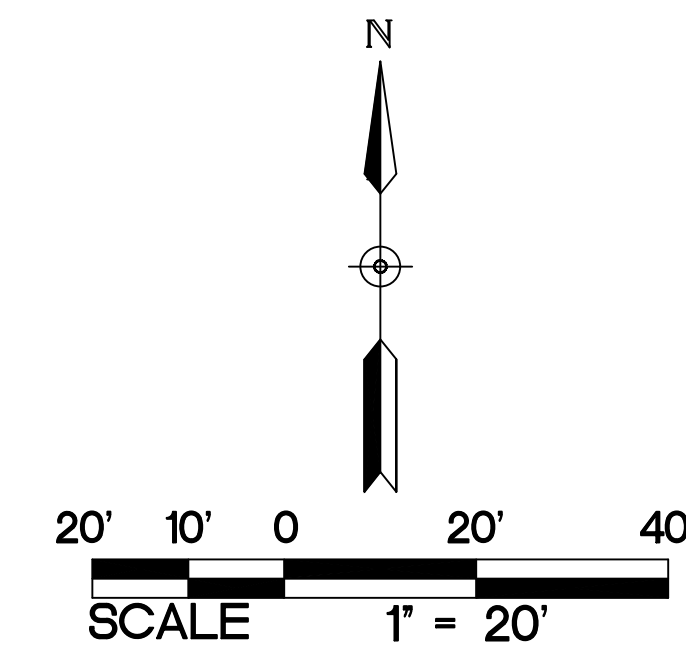
Date XX-XX-2023
Project Number XX-XX

C100



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ABBREVIATIONS	
BLDG	Building
BM	Benchmark
CB	Catch Basin
CMP	Corrugated Metal Pipe
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
OHU	Overhead Utility
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
STRM	Storm Sewer Structure
TC	Top of Curb
UGE	Underground Electric
W.O.	Washout

APPROXIMATE DISTURBED AREA IS APPROXIMATELY 3750 SQUARE FEET

NOTE:
STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 2/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

WALKWAY NOTE:
1. ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO MEET ADA CODE.

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	--- ---
SILTATION FENCE	---X---X---
SEDIMENT CONTROL LOG	
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	--- ---
PROPOSED CONTOUR	--- ---
DRAIN TILE	--- ---
STORM SEWER	--- ---
CATCH BASIN	■
MANHOLE	●
ROCK CONSTRUCTION ENTRANCE	■
SPOT ELEVATION	○
SOIL BORING	○
CONCRETE WASHOUT AREA	■

KEYED NOTES

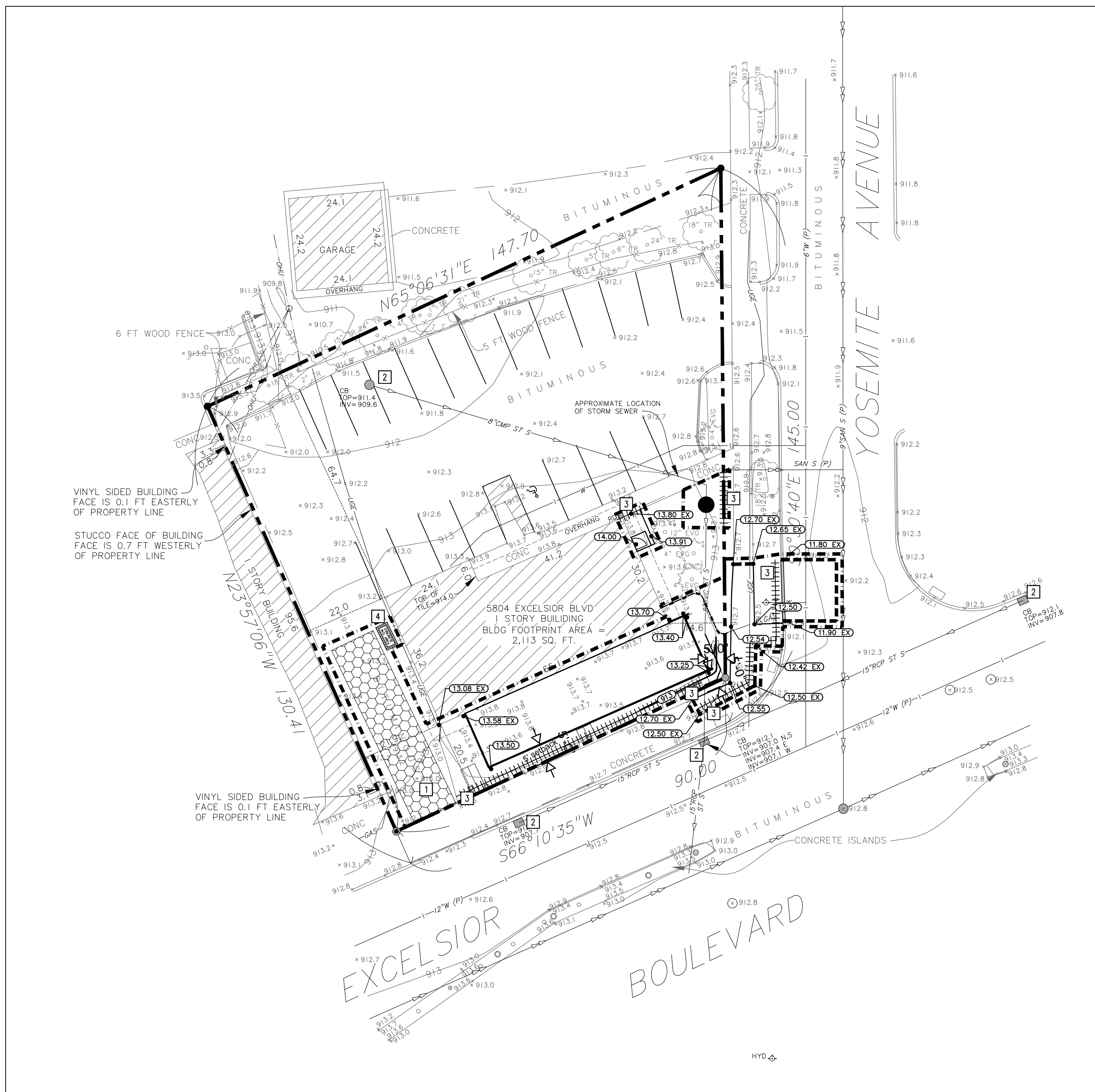
KEYED NOTES ARE DENOTED BY [] ON PLAN.

[1] INSTALL CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C500.

[2] INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 2/C500.

[3] INSTALL PERIMETER EROSION CONTROL. REFER TO DETAILS 3/C500 AND 4/C500.

[4] APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.



1 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C200 1" = 20'

EROSION CONTROL NOTES:

- ALL EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY SITE GRADING OPERATIONS. THE CITY ENGINEERING DEPARTMENT MUST BE NOTIFIED UPON COMPLETION OF THE INSTALLATION OF THE REQUIRED EROSION CONTROL FACILITIES AND PRIOR TO ANY GRADING OPERATION BEING COMMENCED. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION GRADING MEETING ON-SITE WITH THE CITY. IF DAMAGED OR REMOVED DURING CONSTRUCTION, ALL EROSION CONTROL FACILITIES SHALL BE RESTORED AND IN PLACE AT THE END OF EACH DAY.
- ANY EROSION CONTROL FACILITIES DEEMED NECESSARY BY THE CITY BEFORE, DURING, OR AFTER THE GRADING ACTIVITIES SHALL BE INSTALLED AT THEIR REQUEST.
- NO DEVIATIONS SHALL BE MADE FROM THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN WITHOUT PRIOR APPROVAL FROM THE CIVIL ENGINEER.
- SITE ACCESS ROADS SHALL BE GRADED OR OTHERWISE PROTECTED WITH SILT FENCES, DIVERSION CHANNELS, OR DIKES AND PIPES TO PREVENT SEDIMENT FROM EXITING THE SITE VIA THE ACCESS ROADS. SITE-ACCESS ROADS/DRIVEWAYS SHALL BE SURFACED WITH CRUSHED ROCK WHERE THEY ADJOIN EXISTING PAVED ROADWAYS.
- SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES OR EQUIPMENT SHALL BE CLEANED DAILY FROM PAVED ROADWAY SURFACES, OR MORE FREQUENTLY IF REQUESTED BY CITY, THROUGHOUT THE DURATION OF CONSTRUCTION.
- DUST CONTROL MEASURES SHALL BE PERFORMED PERIODICALLY WHEN CONDITIONS REQUIRE AND/OR AS DIRECTED BY THE CITY.
- ALL EROSION CONTROL MEASURES SHALL BE USED AND MAINTAINED FOR THE DURATION OF SITE CONSTRUCTION. IF CONSTRUCTION OPERATIONS OR NATURAL EVENTS DAMAGE OR INTERFERE WITH THESE EROSION CONTROL MEASURES, THEY SHALL BE RESTORED TO SERVE THEIR INTENDED FUNCTION AT THE END OF EACH DAY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS SOON AS POSSIBLE. ANY AREAS WHICH HAVE BEEN FINISHED GRADED OR AREAS THAT HAVE BEEN DISTURBED AND FOR WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY SHALL BE SEEDED AND MULCHED AS SET FORTH IN THE FOLLOWING PARAGRAPHS WITHIN 7 DAYS:
 - ALL SEEDED AREAS SHALL BE EITHER MULCHED AND DISC-ANCHORED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION. TEMPORARY STRAW MULCH SHALL BE DISC-ANCHORED AND APPLIED AT A UNIFORM RATE OF NOT LESS THAN TWO TONS PER ACRE AND NOT LESS THAN 80% COVERAGE.
 - IF THE GRADED AREA IS ANTICIPATED TO BE RE-DISTURBED/DEVELOPED WITHIN SIX MONTHS, PROVIDE A TEMPORARY VEGETATIVE COVER CONSISTING OF MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) SEED MIXTURE 21-111 (OATS), OR 21-112 (WINTER WHEAT), AT A RATE OF 100 POUNDS PER ACRE.
 - IF GRADED AREA WILL NOT BE DEVELOPED FOR A PERIOD GREATER THAN SIX MONTHS, PROVIDE A SEMI-PERMANENT VEGETATIVE COVER OF SEED MIXTURE MNDOT 22-112 AT A RATE OF 40 POUNDS PER ACRE.
 - GRADING BONDS OR THE EQUIVALENT SECURITIES SHALL BE RETAINED UNTIL TURF HAS GERMINATED AND SURVIVED A 60-DAY GROWING PERIOD.
 - UNLESS SPECIFIED ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS (I.E. ARCHITECTURAL SITE PLAN OR LANDSCAPE PLAN), PERMANENT TURF RESTORATION SHALL CONSIST OF SOD.

F. MULCH, HYDROMULCH, AND TACKIFIERS MAY NOT BE USED FOR STABILIZATION IN SWALES OR DRAINAGE DITCHES UNLESS THE LONGITUDINAL SLOPE IS LESS THAN 2 PERCENT.

G. RUNOFF SHALL BE PREVENTED FROM ENTERING ALL STORM SEWER CATCH BASINS PROVIDING THEY ARE NOT NEEDED DURING CONSTRUCTION. WHERE STORM SEWER CATCH BASINS ARE NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION, SEDIMENT PROTECTION DEVICES AS DETAILED SHALL BE INSTALLED AND MAINTAINED AROUND ALL CATCH BASINS UNTIL THE TRIBUTARY AREA TO THE CATCH BASIN IS RESTORED.

- GRADING ACTIVITIES PROPOSED TO BEGIN AFTER OCTOBER 15 WILL REQUIRE AN APPROVED PHASING SCHEDULE. THE AREA OF LAND THAT THE CITY WILL ALLOW TO BE DISTURBED AT THIS TIME OF YEAR WILL BE SEVERELY LIMITED. THE CITY WILL ALSO REQUIRE ADDITIONAL EROSION CONTROL DEVICES, I.E., TEMPORARY SEDIMENT BASINS, DORMANT SEEDING AND HIGH RATES OF APPLICATION OF BOTH SEED AND MULCH.
- ACCUMULATION OF ALL SEDIMENT OCCURRING IN STORM SEWERS AND CURB LINES SHALL BE REMOVED PRIOR TO, DURING AND AFTER COMPLETION OF GRADING ACTIVITIES.
- EROSION CONTROL ITEMS AND DEVICES SHALL BE REMOVED ONLY AFTER THE AREA HAS RECEIVED FINAL STABILIZATION OR AS DIRECTED BY THE CITY.

GRADING NOTES:

- THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS, AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
- THE BACKGROUND INFORMATION WAS PREPARED BY SUNDE LAND SURVEYING. (952) 881-2455.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT, OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR, IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER STATE ONE CALL AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
- NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
- ALL SPOT ELEVATIONS SHOWN AS 13.50, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 913.50.
- ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
- NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
- ACCESSIBLE PARKING AREAS SHALL NOT HAVE SLOPES IN ANY DIRECTION THAT EXCEED 2%.
- PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
- PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
- ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
- ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
- WINTER MULCHING:
 - SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
 - FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MAY BE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER AT A RATE OF 2000 GALLONS PER ACRE OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
- THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota

Joel W. Maier
Date XX/XX/2023 Reg. No. 19181

FAMILY ORTHODONTICS
CONSTRUCTION DOCUMENTS

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**GRADING,
DRAINAGE, AND
EROSION
CONTROL PLAN**

Date XX-XX-2023
Project Number XX-XX

C200



FOUNDATION ARCHITECTS

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Joel W. Maier
Date XX/XX/2023 Reg. No. 19181

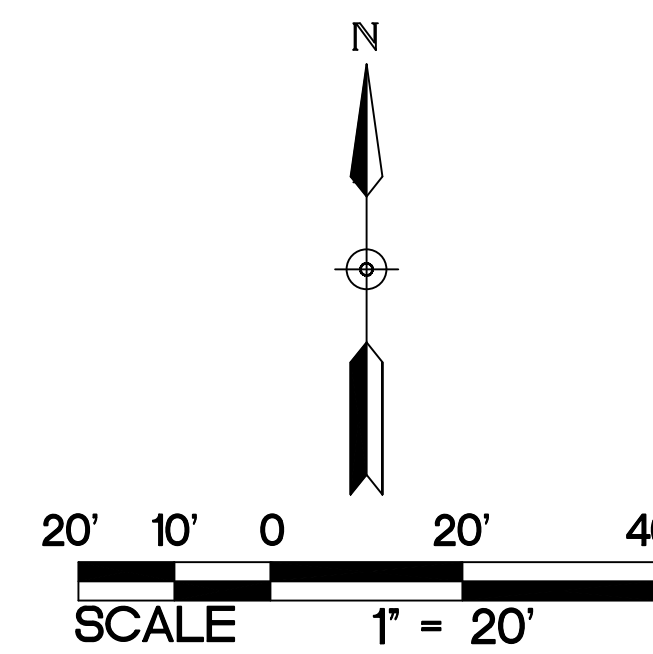
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CONSTRUCTION DOCUMENTS

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UTILITY PLAN

Date XX-XX-2023
Project Number XX-XX

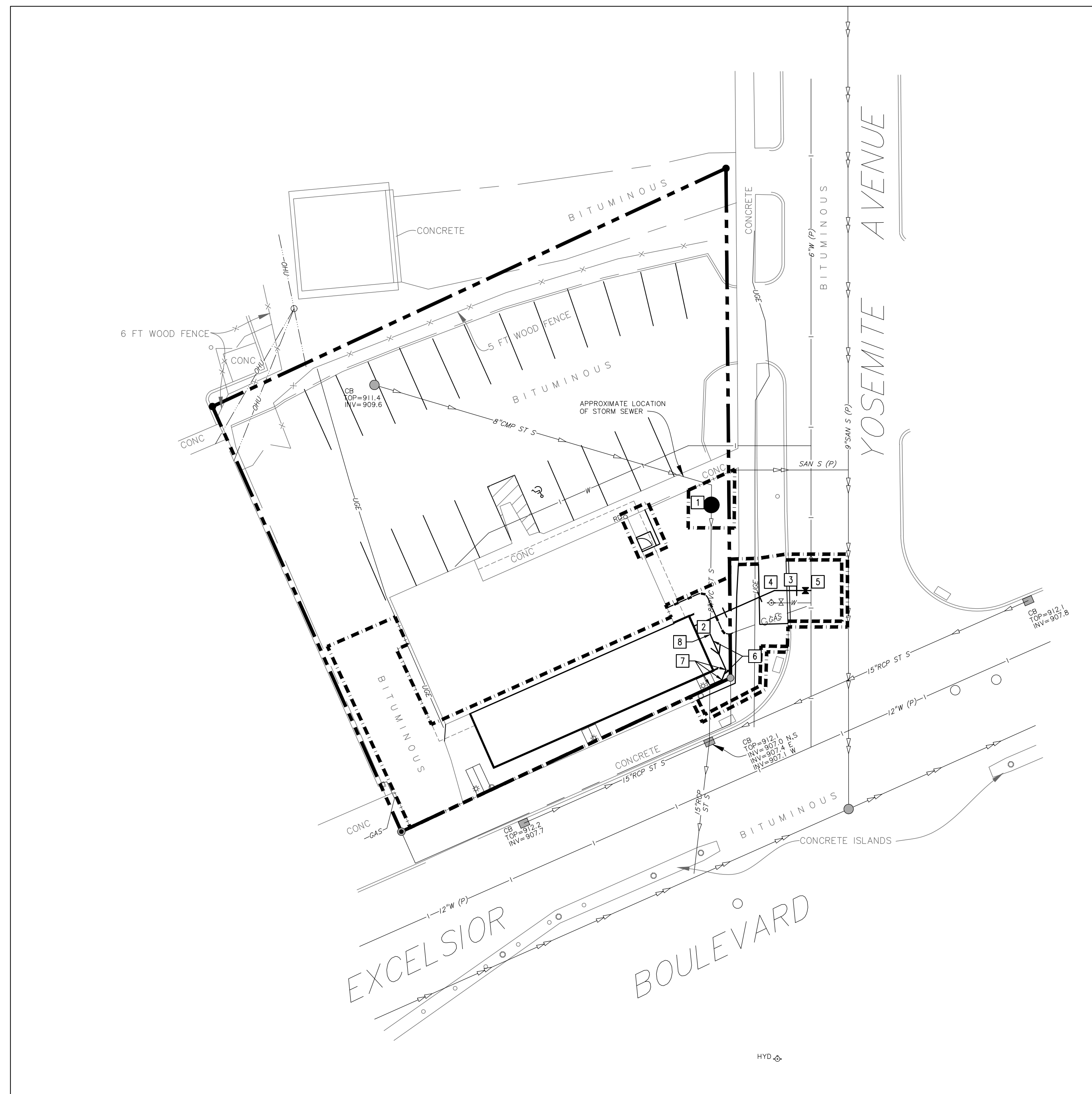
C300



ABBREVIATIONS	
BLDG	Building
BM	Benchmark
CB	Catch Basin
CMP	Corrugated Metal Pipe
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
OHU	Overhead Utility
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
RD	Roof Drain
UGE	Underground Electric

NOTE:
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL POthOLE AND DETERMINE THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES. CONTACT CIVIL ENGINEER IF EXISTING UTILITIES TO REMAIN WILL BE IMPACTED BY PROPOSED WORK.

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	--- --
PROPERTY LINE	--- --
SAWCUT LINE (APPROX.)	--- --
WATER PIPE	—+—+—+—+—
STORM SEWER	—>—>—>—>—
GATE VALVE	⊕
MANHOLE	●
PIPE INSULATION	▨
SEWER INVERT ELEVATION	INV. XXX.XX



1 UTILITY PLAN
C300 1"=20'

KEYED NOTES

KEYED NOTES ARE DENOTED BY [] ON PLAN.

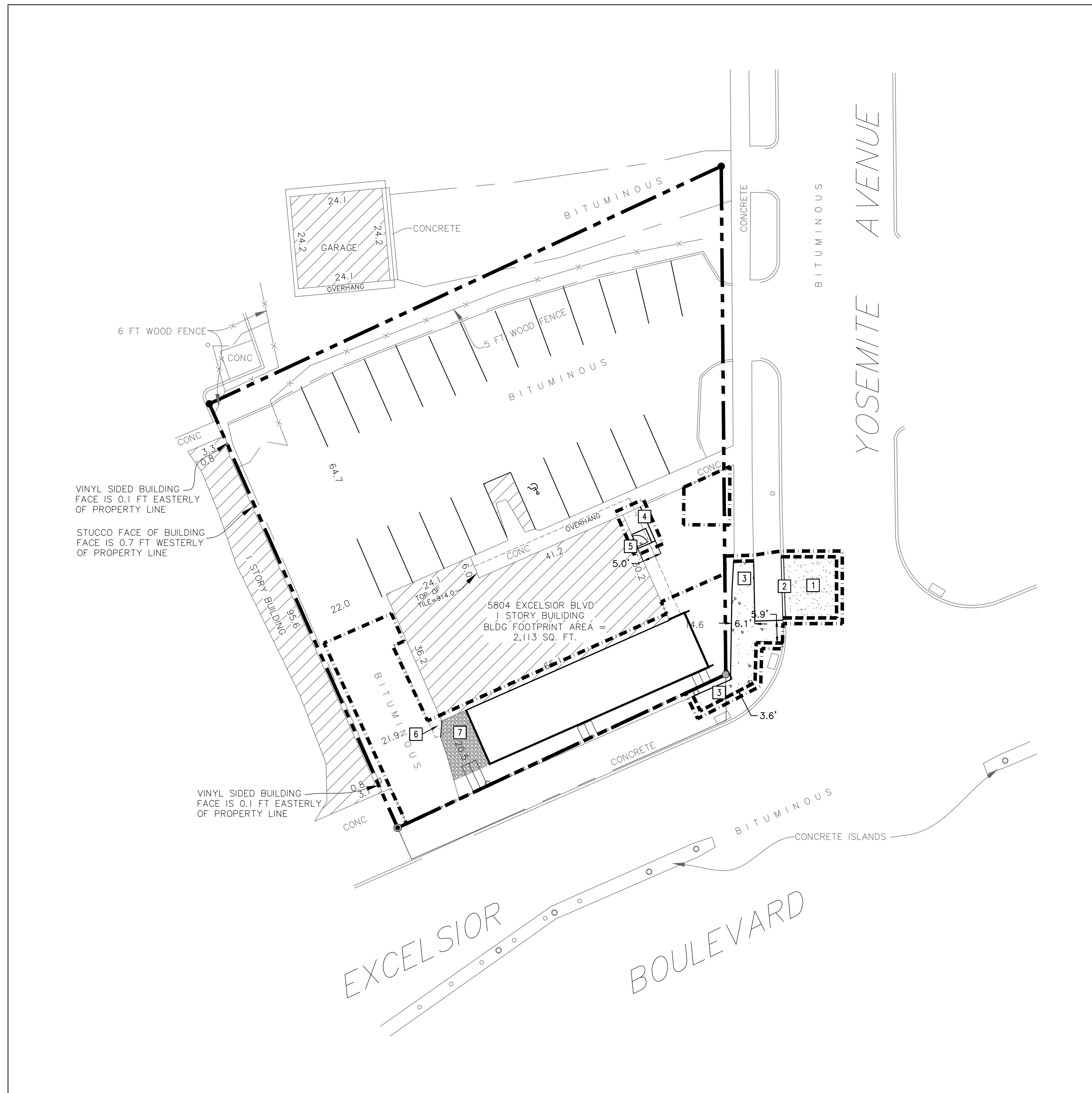
- INSTALL SUMP CATCH BASIN WITH SNOOT, ENVIROHOOD, OR APPROVED EQUAL. STRUCTURE SHALL BE INSTALLED IN LINE WITH EXISTING STORM SEWER. APPROXIMATE INVERT IS 908.03. FIELD VERIFY. REFER TO DETAIL 6/C500.
- STUB 4-INCH FIRE PROTECTION LINE TO WITHIN 5- FEET OF THE PROPOSED BUILDING. TOP OF WATER SERVICE SHALL BE 7.5 FEET BELOW FINISHED GRADE AT THE PROPOSED CONNECTION POINT. COORDINATE EXACT LOCATION WITH MECHANICAL AND STRUCTURAL PLANS PRIOR TO THE START OF CONSTRUCTION.
- INSTALL 4-INCH GATE VALVE.
- INSTALL 4-INCH 22.5-DEGREE BEND WITH THRUST BLOCKING.
- INSTALL 4-INCH WET TAP.
- INSTALL APPROXIMATELY 16 LF OF 8-INCH SCH 40 PVC STORM SEWER. MATCH INVERTS OF EXISTING 8-INCH PVC STORM PIPE.
- INSTALL 8-INCH PVC 45 DEGREE BEND.
- INSTALL 8-INCH PVC 22.5 DEGREE BEND.

UTILITY NOTES:

- CONTRACTOR SHALL FOLLOW ALL CITY OF ST LOUIS PARK STANDARDS AND SPECIFICATIONS.
- COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
- COORDINATE UTILITY INSTALLATION WITH STRUCTURAL PRIOR TO START OF CONSTRUCTION. UTILITIES SHALL NOT BE INSTALLED WITHIN THE ZONE OF INFLUENCE OF ANY STRUCTURAL ELEMENTS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR UNCOORDINATED WORK.
- SANITARY SEWER SERVICE FOR THE NEW BUILDING ADDITION SHALL BE EXTENDED FROM THE EXISTING BUILDING. NO NEW EXTERIOR SANITARY SEWER SERVICE IS PROPOSED.
- PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
- ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF ST LOUIS PARK AND HENNEPIN COUNTY STANDARDS.
- ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, UNLESS NOTED OTHERWISE.
- ALL WATER MAIN SHALL HAVE A MINIMUM DEPTH OF COVER OF 7.5 FEET OVER TOP OF WATER MAIN.
- PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF ST LOUIS PARK. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS, AND HYDRANT LEADS.
- STORM SEWER PIPING AND FITTINGS SHALL BE SCHEDULE 40 POLY VINYL CHLORIDE (PVC), MEETING THE REQUIREMENTS OF ASTM D785 OR D2665.
- CONTRACTORS SHALL COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
- WHERE PROPOSED GRADE OVER EXISTING SMALL UTILITIES IS PROPOSED TO BE LOWERED, CONTRACTOR SHALL COORDINATE WITH UTILITY OWNER FOR THE LOWERING OF THE EXISTING UTILITY TO PROVIDE THE MINIMUM COVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10- FEET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE. PIPING MATERIAL SHALL BE SCHEDULE 40 PVC.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. RESILIENT WATER-STOP GROUTING RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:

- FOLLOW ALL CITY OF ST LOUIS PARK STANDARDS AND SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT-OF-WAY AND OBTAIN ALL APPLICABLE PERMITS.

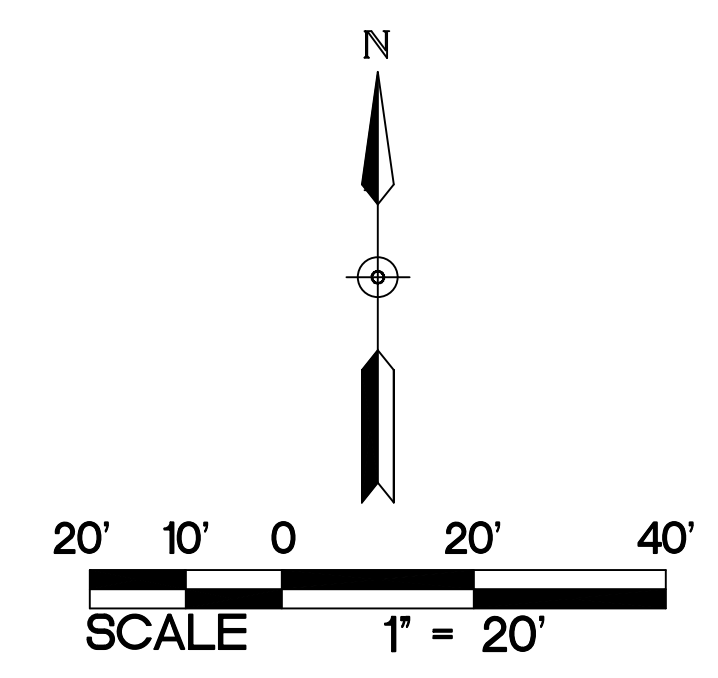


1 PAVING AND GEOMETRIC PLAN
C400 1"=20'

PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
BITUMINOUS PAVEMENT	[Pattern]
CONCRETE PAVEMENT/SIDEWALK	[Pattern]

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY NO ON PLAN.
- 1] INSTALL BITUMINOUS PAVEMENT. INTENT IS TO MATCH EXISTING PAVEMENT SECTION. REFER TO DETAIL 1/C501.
 - 2] INSTALL CONCRETE CURB AND GUTTER. INTENT IS TO MATCH EXISTING CURB AND GUTTER SECTION AND STYLE. REFER TO DETAIL 2/C501.
 - 3] INSTALL CONCRETE SIDEWALK IN PUBLIC RIGHT OF WAY. REFER TO DETAIL 4/C501.
 - 4] INSTALL CONCRETE WALK. REFER TO DETAIL 5/C500.
 - 5] STOOP. REFER TO STRUCTURAL PLANS AND DETAILS.
 - 6] PLACE A BITUMINOUS PAVEMENT PATCH TO RESTORE DRIVEWAY. MATCH INTO EXISTING AT CORNER OF BUILDING.
 - 7] PLACE 4-INCHES OF 3/4-INCH WASHED RIVER ROCK LANDSCAPE MULCH.

ABBREVIATIONS	
BLDG	Building
BM	Benchmark
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
MAX	Maximum
MIN	Minimum
R	Radius
TYP.	Typical
MN MUTCD	Minnesota Manual on Uniform Traffic Control Devices



- PAVING NOTES:**
1. CONTRACTOR SHALL FOLLOW ALL CITY OF ST LOUIS PARK STANDARDS AND SPECIFICATIONS.
 2. ALL CURB AND GUTTER IS TO BE B618 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
 3. NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
 4. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
 5. FOLLOW ALL CITY OF ST LOUIS PARK AND HENNEPIN COUNTY RULES, REGULATIONS, AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
 6. REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
 7. INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
 8. ALL EXPANSION AND ISOLATION JOINTS SHALL BE SEALED PER SPECIFICATIONS.
 9. MATCH NEW PAVEMENT, CURB AND GUTTER, AND SIDEWALK INTO EXISTING. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
 10. SAWCUT EXISTING PAVEMENT, SIDEWALK, AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER.

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota

Joel W. Maier
Date XX/XX/2023 Reg. No. 19181

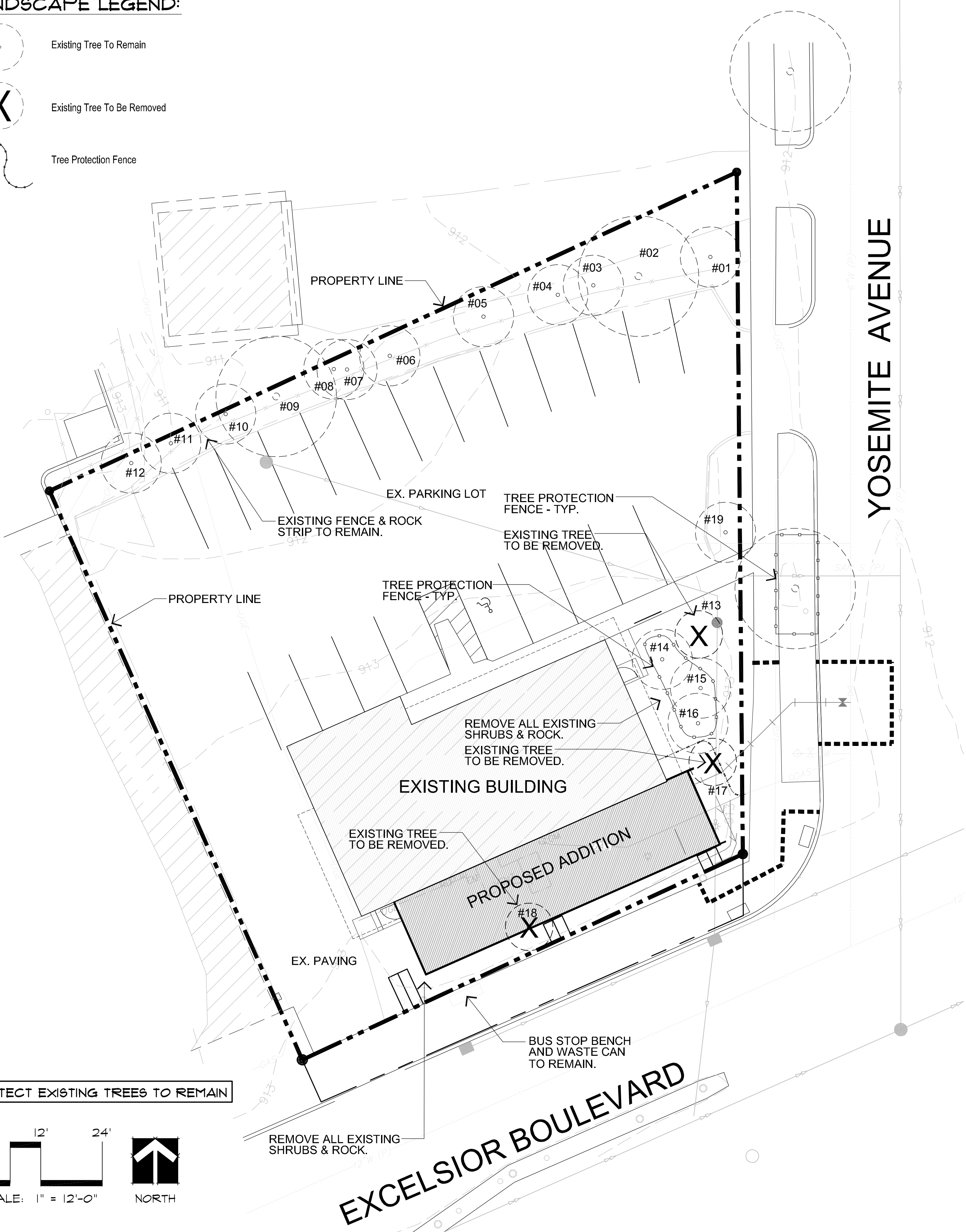
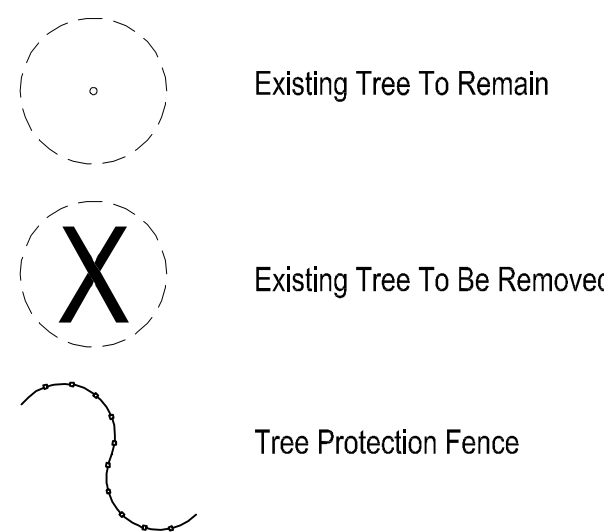
FAMILY ORTHODONTICS
XX-XX-XX
CONSTRUCTION DOCUMENTS

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PAVING AND GEOMETRIC PLAN

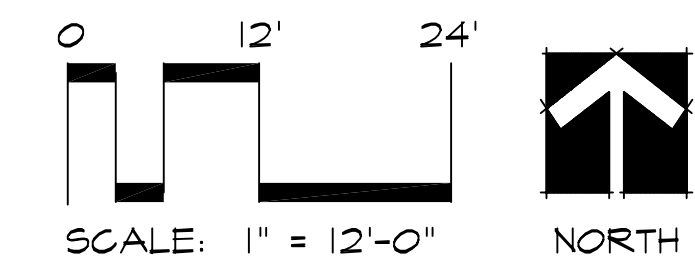
Date XX-XX-2023
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C400

LANDSCAPE LEGEND:



PROTECT EXISTING TREES TO REMAIN



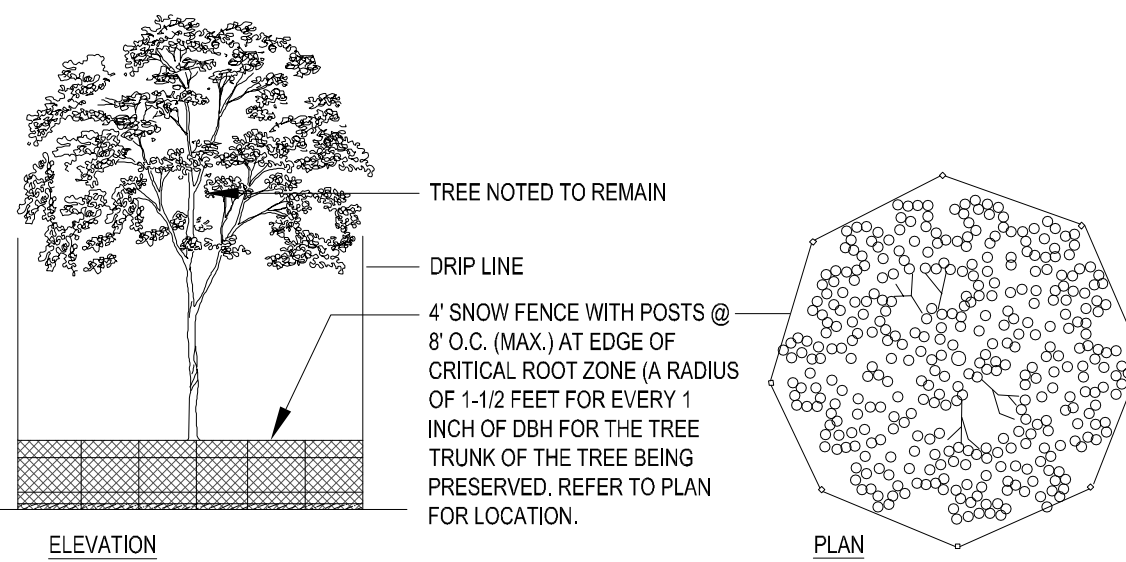
TREE PRESERVATION PLAN:

EXISTING TREE SCHEDULE:

Tree ID	Species	DBH (inches)	Significant?	Remove?	
1	Green Ash	18	Y		
2	Silver Maple	24	Y		
3	Buckthorn	6	N		
4	Green Ash	5	Y		
5	American Elm	15	Y		
6	Yellow Locust	21	Y		
7	White Walnut	1	N		
8	Green Ash	4	N		
9	American Elm	24	Y		
10	Box Elder	15	N		
11	Buckthorn	2	N		
12	Green Ash	18	Y		
13	White Weeping Spruce	4	N	Y	
14	Green Spruce	12	Y		
15	White Weeping Spruce	4	N		
16	White Weeping Spruce	4	N		
17	White Weeping Spruce	5	N	Y	
18	Green Spruce	12	Y	Y	
19	White Weeping Spruce	4	N	N	
19	No. of Trees On-Site				
9	No. of Significant Trees				
149	Total Significant Inches On-Site				
12	Significant Inches Removed				
8%	Percent of Significant Inch Removal				
St. Louis Park Tree Inventory Criteria:					
5"+ Deciduous Trees					
6"+ Coniferous Trees					
Aspen, Cottonwood, and Silver Maple must be 12"+					
Exceptions: Willow, Box Elder, Siberian Elm, Black Locust					

GENERAL NOTES:

1. Refer to civil plans tree removal and utility layout.
2. Refer to Sheet L200 for Landscape Plans.
3. Refer to Sheet L300 for Landscape Details, Notes, and Schedules.
4. Refer to architectural plans for additional site requirements.
5. Contractor to coordinate work in the city easement or right-of-way with City of St. Louis Park Public Works Department.
6. Protect existing trees to remain from damage during construction.
7. Protect existing paving during landscape installation.



NOTE: TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO AIDE IN SURVIVABILITY OF EXISTING TREES TO REMAIN. DO NOT STORE MATERIALS OR DRIVE EQUIPMENT WITHIN THE TREE DRIP LINE AS DESIGNATED ABOVE. MAINTAIN THE FENCE INTEGRITY AT ALL TIMES THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.

CITY TREE PROTECTION REQUIREMENT: STREET TREES SHALL BE PROTECTED BY ESTABLISHING A TREE PROTECTION ZONE USING 4' TALL FENCING INSTALLED AT THE DRIP LINE OF THE TREE. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK AND MAINTAINED FOR THE DURATION OF THE PROJECT, PROPOSED WORK WITHIN, OR CHANGES TO THE LOCATION OF TREE PROTECTION FENCING SHALL BE REVIEWED BY THE CITY FORESTER PRIOR TO ALTERATION.

1 EXISTING TREE PROTECTION DETAIL
L100 NOT TO SCALE

TREE PRESERVATION NOTES:

- Existing boundary, location, topographic, vegetation, and utility information shown on this plan is from a field survey by Sunde Surveying.
- Do not begin tree clearing work until tree protection measures are in place and to the permit approval of the City Forester has been granted.
 - **Critical Root Zone:** Install high density polyethylene safety fence, 4 ft. high, international orange, at the Drip Line or at the Critical Root Zone whichever is greater, of trees to be preserved per detail, prior to commencement of earthwork activity. Field-staking of the fence location(s) subject to City approval.
 - Where silt fence and proposed tree protection fence overlap, place the tree protection fence on the outside of the silt fence, double-staked at the break-point.
 - Refer to Tree Protection Detail 1
 - The contractor shall prune the canopy of existing trees to remain where the canopy is in jeopardy of damage due to the new improvements shown. It is recommended that the contractor hire a certified arborist to perform the pruning. Any branches broken during construction shall be immediately trimmed and wounds painted to prevent further damage.
 - Perform work in accordance with the laws, ordinances, rules, regulations, and orders of public authority having jurisdiction. Secure and pay for permits, governmental fees and licenses necessary for the proper execution of the demolition work.
 - Provide protective coverings and enclosures as necessary to prevent damage to existing work that is to remain. Existing work to remain may include items such as trees, shrubs, lawns, sidewalks, drives, curbs, utilities, buildings and/or other structures on or adjacent to the demolition site. Provide temporary fences and barricades as required for the safe and proper execution of the work and the protection of persons and property.
 - Remove debris, waste, and rubbish promptly from the site. On-site burial of debris is not permitted. Burn no debris on the site. Salvage material not otherwise indicated to be reused shall become the Contractor's property and is to be removed promptly from the site and disposed of in strict accordance with all applicable laws, regulations, and/or statutes.
 - Buildings, features, surfaces, and other descriptive references shown on this drawing are for informational purposes only. Field verify all information relevant to the project prior to proceeding with the work. Visit the site and determine all site conditions and hazards.
 - This plan is a guide as to the anticipated amount of disturbance expected due to proposed improvements. The contractor is expected to take all necessary precautions to ensure trees noted to remain are not damaged during construction. Do not store material or drive within the drip line of existing trees to remain. Be aware of overhead branches for clearance of material and equipment.
 - This plan is not a guarantee that existing trees will survive during/post construction, but rather a guide to help assure their protection and greatest chances of survival at the surface level. Further protection measures outside this scope could involve ecologists, foresters and arborists.
 - Notify the Owner's Representative when tree protection fencing is taken down to perform work in conjunction with the new improvements noted in this plan set. The contractor is responsible for re-erecting the tree protection fence immediately after the work is complete, when ever possible
 - Trees shown as existing to remain (be preserved) that are damaged / killed as a result of construction activities are subject to replacement per the City Tree Replacement penalty. Replacement trees are to be paid for at no additional expense to the Owner.



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651.788.9018 | calyxdesigngroup.com

Revisions

#	Date	Description

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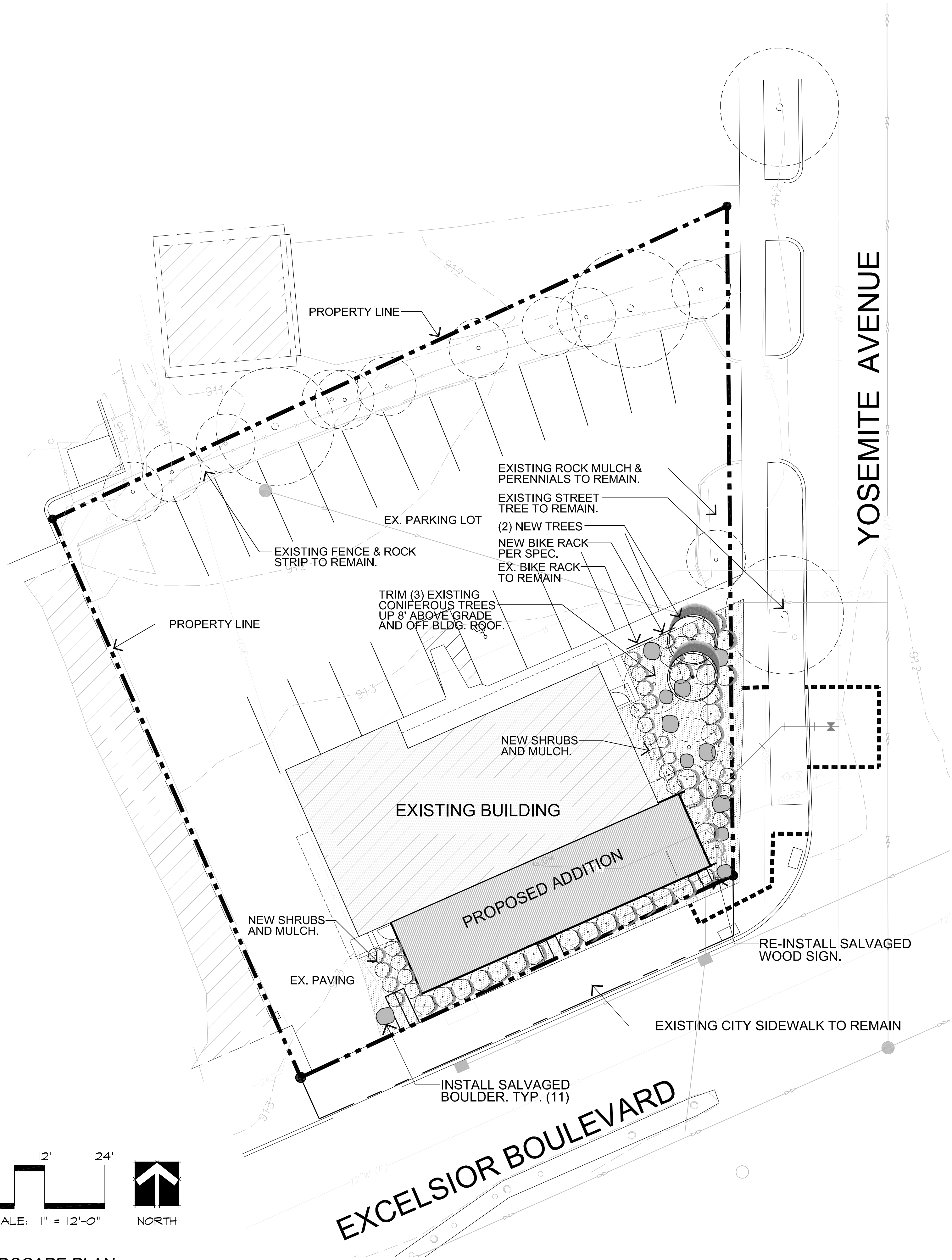
Benjamin D. Hartberg, PLA
Date: XXXXX/2023 Reg. No. 48084

FAMILY ORTHODONTICS
ST LOUIS PARK, MN

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TREE PRESERVATION PLAN
Date: 03.13.23
CALYX Project Number: 23111
Drawn By: HL

L100

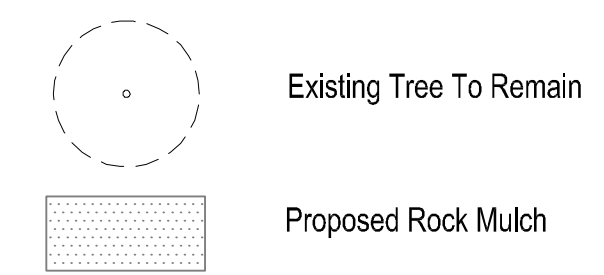




GENERAL NOTES:

01. Refer to Sheet L100 for Tree Preservation.
02. See Civil Engineer's plans for site plan layout and dimensions.
03. Contractor to coordinate all work in the city right-of-way with the City of St. Louis Park Public Works Departments.
04. Protect new improvements from damage during landscape construction.
05. Place a minimum of 6" topsoil or slope dressing on all turf areas disturbed by construction, including right-of-way boulevards, and 12" of topsoil in planting areas, unless specified otherwise.
06. Irrigation: The landscape contractor is required to provide temporary irrigation for all new plantings from the time of planting until September 15. Include hose-bib mounted battery operated controller.
07. New trees to be staked as noted on Detail 2, Sheet L300.
08. Salvage and re-install (11) field stone boulders in locations shown.
09. Salvage and re-install wood monument sign. Verify re-install location with Owner.
10. Limb-up existing evergreen trees where noted. Shear limbs up 8' and off building roof.

LANDSCAPE LEGEND:



CITY LANDSCAPE REQUIREMENT CALCULATIONS:

Non-Residential Zoning: The Greater of The Following:

(1) Tree for every 1,000 square feet of gross building area. $3,088SF / 1,000 = 03$ Trees
 OR
 (1) Tree for every 50 feet of site perimeter. $497LF / 50 = 10$ Trees

AND

(6) Shrubs for every 1,000 square feet of gross building area. $3,088SF / 1,000 \times 6 = 18$ Shrubs
 OR
 (6) Shrubs for every 50 feet of site perimeter. $497LF / 50 \times 6 = 60$ Shrubs

LANDSCAPE SUMMARY:

Trees:		Shrubs:	
Existing Trees on Site:	19	Existing Shrubs as Credit:	0
Existing Significant Trees on Site:	09	Shrubs Required On-Site:	60
Existing Significant Trees Removed:	01	Total Shrubs Post-Construction:	60
Existing Significant Trees as Credit:	08		
Trees Required On-Site:	10		
New Trees Required:	2		

PLANT SCHEDULE

OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	BJ	Betula platyphylla 'Jefpark'	Parkland Pillar Birch	2.5" Cal.	B&B	2
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	HI	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea	5 gal.	Pot	4
	Pf	Potentilla fruticosa 'Fargo' TM	Dakota Sunspot Potentilla	5 gal.	Pot	15
	Rg	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	Pot	22
	Sf	Spiraea japonica 'Neon Flash'	Neon Flash Japanese Spirea	2 gal.	Pot	4
	Sc	Syringa x 'SMNJRPU' TM	Bloomerang Dwarf Purple Lilac	5 gal.	Pot	4
	Wm	Weigela florida 'Minuet'	Minuet Weigela	2 gal.	Pot	7
	Wr	Weigela florida 'Rumba'	Rumba Weigela	2 gal.	Pot	4



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Revisions

#	Date	Description

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Landscape Architect under the laws of the state of MINNESOTA.

Benjamin D. Hartberg, PLA
 Date: XX/XX/2023 Reg. No. 48084

FAMILY ORTHODONTICS
 ST LOUIS PARK, MN

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LANDSCAPE PLAN

Date: 03.13.23
 CALYX Project Number: 23111
 Drawn By: HL



L200

