

LEGEND	
	PROPOSED BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED CONCRETE CURB
	EXISTING CONCRETE CURB
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	PROPOSED BUILDING LINE
	EXISTING BUILDING LINE
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	PROPOSED WETLAND
	EXISTING WETLAND
	PROPOSED TREE LINE
	EXISTING TREE LINE
	PROPOSED SAW CUT LINE
	EXISTING SAW CUT LINE
	PROPOSED SIGN
	EXISTING SIGN
	PROPOSED BOLLARD
	EXISTING BOLLARD
	PARKING STALL COUNT
	KEY NOTE
	LIGHT POLE (BY OTHERS)
	STANDARD DUTY ASPHALT PAVING
	HEAVY DUTY ASPHALT PAVING
	CONCRETE PAVING
	CONCRETE SIDEWALK
	PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)

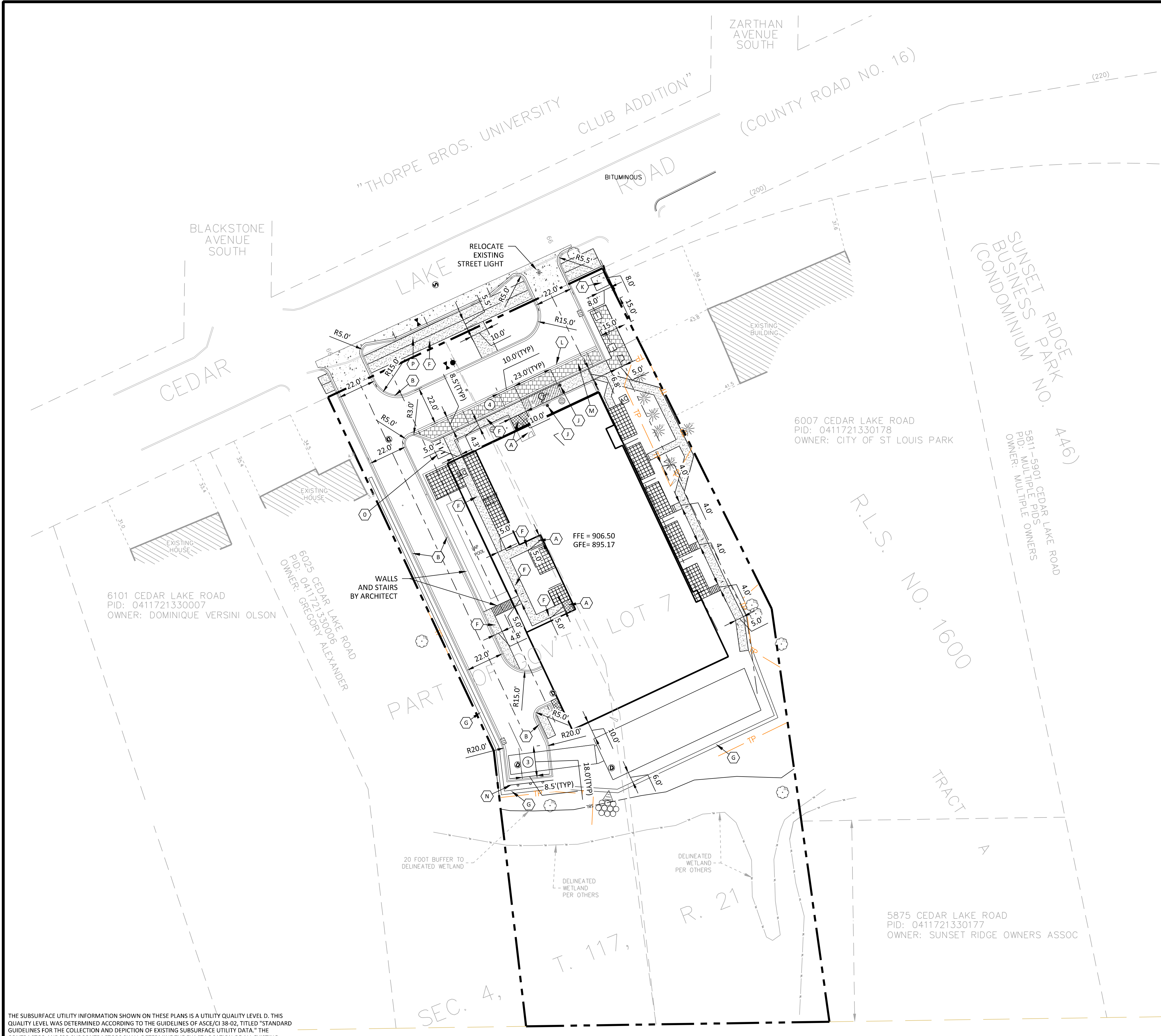
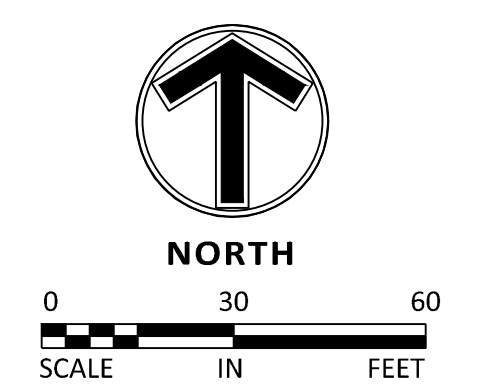
DEVELOPMENT NOTES

- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 8.5' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR PYLON/MONUMENT SIGN DETAILS
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.00% (1:50). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
 - STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
 - BUILDING ADDITION HAS BEEN LOCATED BASED ON ORIGINAL GRIDLINE DESIGN AND/OR EXISTING BUILDING EXTERIOR CORNER SURVEY LOCATIONS. EXTERIOR CORNERS DO NOT REPRESENT EXISTING BUILDING GRIDLINES. CONTRACTOR SHALL LOCATE EXISTING GRIDLINES IN THE FIELD FOLLOWING DEMOLITION AND COORDINATE REQUIRED MODIFICATIONS, IF ANY, TO EXPANSION PLACEMENT WITH CIVIL AND ARCHITECT ACCORDINGLY.
 - CONTRACTOR SHALL PROVIDE RECORD PLANS AS REQUIRED BY PERMITTING AGENCIES.

CIVIL 3D MODEL LIMITATIONS
 SAMBATEK'S DELIVERABLE AND GOVERNING DOCUMENTS FOR CONSTRUCTION SHALL BE A HARD COPY AND/OR PDF PLAN SHEETS. IF A CIVIL 3D MODEL IS GENERATED IN THE PROCESS OF PREPARING THE PLAN SHEETS, IT IS AS A DESIGN TOOL ONLY AND NOT AS A SEPARATE DELIVERABLE. AT THE OWNER'S REQUEST, WE WILL RELEASE OUR CIVIL 3D MODEL FOR THE CONTRACTOR'S USE. HOWEVER, ITS USE IS AT THE CONTRACTOR'S RISK AND SHALL NOT BE USED FOR STAKING OF CURB, SIDEWALK, OR OTHER HARD SURFACE IMPROVEMENTS. IF A CIVIL 3D MODEL FOR STAKING HARD SURFACE IMPROVEMENTS IS REQUIRED, WE CAN PROVIDE A SUPPLEMENTAL AGREEMENT FOR REFINEMENT AND PREPARATION OF THE CIVIL 3D MODEL.

KEY NOTES

- A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
- B. B-612 CONCRETE CURB AND GUTTER
- C. B-618 CONCRETE CURB AND GUTTER
- D. CONCRETE APRON
- E. FLAT CURB SECTION
- F. CONCRETE SIDEWALK
- G. SEGMENTAL BLOCK RETAINING WALL
- H. ADA ACCESS LOCATION
- I. ACCESSIBLE STALL STRIPING
- J. ACCESSIBLE PARKING SIGN
- K. TRANSFORMER
- L. 2' WIDE CONCRETE VALLEY GUTTER
- M. PAVERS
- N. GUARDRAIL
- O. BIKE RACK
- P. CONCRETE BIKE LANE



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA), THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

2000 ZARTHAN AVENUE SOUTH
 PID: 0911721220003
 OWNER: CITY OF ST LOUIS PARK

5875 CEDAR LAKE ROAD
 PID: 0411721330177
 OWNER: SUNSET RIDGE OWNERS ASSOC

NO	DATE	BY	CKD	APPR	COMMENT
1.	01/04/2023	TK	GA	MA	CITY SUBMITTAL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: _____

 Date _____ License # _____

PRELIMINARY
 DESIGN REVIEW
 PERMIT SUBMITTAL
 CONSTRUCTION DOCUMENTS

DRAWN BY
 TK
 DESIGNED BY
 GA
 CHECKED BY
 MA
 PROJECT NO.
 52710



SITE PLAN
 CEDAR HEIGHTS ESTATES, LLC.
 CEDAR HEIGHTS APARTMENTS
 ST. LOUIS PARK, MN

SHEET
C2
 ## OF ##
 REV. ##