

Parking lots and driveways

Is a permit required?

Yes. A “Parking lot or driveway permit application” must be issued from the zoning department before beginning construction on a new, replacement, or alteration to a driveway or parking lot. A permit is not required for general maintenance such as filling pot holes, seal coating, or overlays.

The following additional permits may be required from the engineering department, depending on the scope of the project. The permits can be found on the city website here:

www.stlouisparkmn.gov/government/departments-divisions/engineering/engineering-permits

1. A work in the public right-of-way permit will be required if replacement or alterations are proposed to the driveway apron or to a public sidewalk crossing the driveway.
2. An erosion control permit. Check the website to see if this permit applies to your parking lot project. Residential driveways are too small to require this permit.

Additional permits may be required for parking lots if alterations to the stormwater collection system or lighting are proposed.

How to apply for a permit. There are three ways to apply for a permit.

1. Use the ePermits option on the city website (www.stlouisparkmn.gov/services/permits).
2. Email the application to the building and energy department at inspections@stlouisparkmn.gov.
3. Drop off the application at the building and energy department located on second floor of city hall.

No matter how you choose to submit the application, you will need to include the following information:

- Application form. The form can be found at: www.stlouisparkmn.gov/services/permits. Look for “parking lot or driveway permit” in the “permits related to zoning ordinances” dropdown menu.
- A survey or site plan showing the existing conditions and proposed location of your parking lot or driveway.
- For parking lots, the drawing/survey needs to show the parking spaces along with dimensions indicating their length and width and the width of the drive aisle servicing the parking spaces.

Is an inspection required?

No. An inspection is not required.

How is water runoff handled?

Parking lots will handle its stormwater by using curb and gutter and occasionally a private stormwater collection system. New systems, and alterations to existing systems, need to be included in the permit for review.

Driveways for single and two-unit dwellings need to be shaped so water is directed to the street, alley, or backyards. Care must be taken so water is not directed to your or your neighbor’s house or other structure. Additionally, water should not be directed to a neighbor’s property if it wasn’t previously directed to the same area. Please keep in mind that if a neighbor believes their property has been damaged by stormwater runoff resulting from your project, they may have cause for seeking relief and damages in district court. The issuance of a driveway permit does not protect you from these claims. It is your responsibility to make sure your project does not damage neighboring properties.

Where can the parking lot be located, and how big can they be?

There are many things that come into play when determining the location and size requirements for parking lots. Contact the zoning department at 952-924-2575 to talk to a planner about your parking lot project.

Where can a driveway be located, and how big can it be?

Below are the dimensional standards for a residential driveway for a single and two unit-dwelling.

Width.

1. The maximum width for the driveway apron shall not exceed 22 feet.
2. The maximum cumulative width for driveways, parking areas, and turnarounds shall not exceed 36 feet for single unit dwellings, and 44 feet for two-unit dwellings.
3. Horseshoe driveways are permitted when additional driveway accesses are allowed. The secondary driveway width shall be deducted from the maximum driveway width allowed and shall not exceed 12 feet in width.

Setbacks.

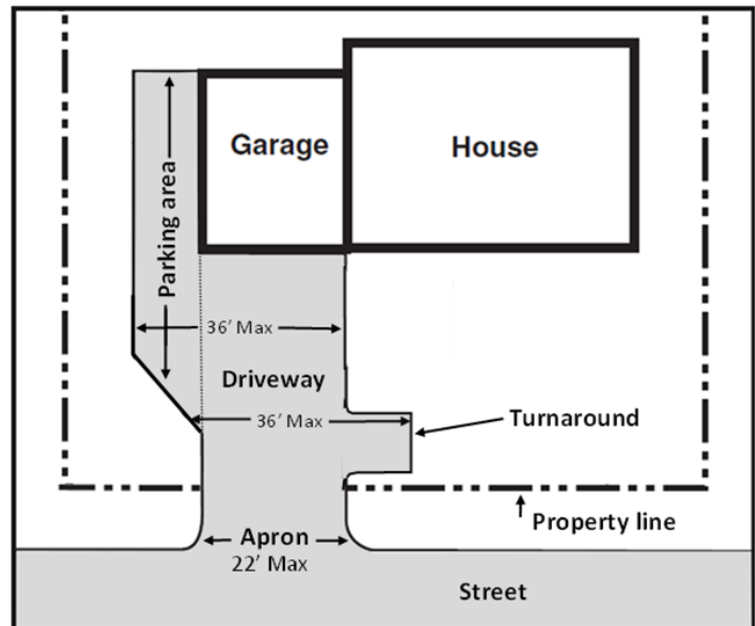
1. No side setbacks are required for driveways, parking areas, and turnarounds.
2. The start of the transition to a driveway or parking area that is wider than the driveway apron may start immediately after the driveway apron and cannot exceed 45 degrees.
3. Turnarounds must be located on private property.

Driveway access.

1. One access to a street and/or alley is allowed for single-unit dwellings on lots less than 80 feet wide.
2. Two accesses to a street and/or alley are allowed for two-unit dwellings, or single-unit dwellings on lots greater than or equal to 80 feet wide.
3. Two street accesses are allowed for corner lots with the condition that one access is allowed per street frontage for lots less than 80 feet in width.

Miscellaneous.

1. The maximum slope on the driveway shall not exceed 10%.
2. The surface of the driveway shall be paved with asphalt, concrete, or pavers. Permeable pavers and ribbon driveways may be used on private property if vegetation is maintained between the ribbons of the driveway and the open areas of the permeable pavers.



Questions?

This handout covers commonly asked questions and situations. It does not cover all city ordinances. If you have any questions, or think your situation is unique or not covered by this handout, please call the planning division for clarification.